

THE CORPORATION OF THE CITY OF ST. THOMAS
COMMUNITY IMPROVEMENT PROGRAM EVALUATION COMMITTEE

DECEMBER 8, 2017 8:30 A.M. CITY HALL ROOM 204

1. Confirmation of Minutes : September 22, 2017

2. Disclosure of Interest

3. Project Applications
 - a) 16 Pearl Street, Kevin Miller, Residential Conversion
 - b) 555 Talbot, Debbie Hamilton, The Cooperators, Façade Improvements

4. New Business
 - a) Overview of CIP Applications

5. Unfinished Business
 - a) Promoting CIP Program on Talbot St. West

6. Adjournment

Graves, Wendell

From: Debbie Hamilton [debbie_hamilton@cooperators.ca]
Sent: October 17, 2017 10:07 AM
To: Graves, Wendell
Subject: RE: Facade Improvement

Hi Wendell,

Jay has also answered the questions below in red. Let me know if there are any other questions that need to be answered ☺

1. Regarding the large window, they noted a few areas where the design and the work described in the quote didn't match and they wanted us to clarify if the work done would match the design:
 - a. The image shows transom across the top of the large front window, but no transom is listed on the quote. Will there be transom across top of the large front window? **Yes, the large lower window has a vented transom across the top (awning window).**
 - b. They noted the quote shows one 8'x6' window whereas the design shows the window is separated into three parts with the transom at the top. **Yes the large lower window quoted is three windows coupled together with one transom above each of the three lower windows, resulting in one opening.**
 - c. The quote reflects white trim but the images reflect black trim. Would it be the same cost to have the black trim on the windows and if not, what would the cost be with black trim? **I have adjusted the cost to have the exterior of the windows black.**
 - d. It is listed as bottom venting but the design does not show the lines on the windows for how a vented bottom window would look. Could the design be updated to reflect how this would look aesthetically? **The venting windows are now at the top and they would be an awning window that tips in which is very common in century homes.**
2. Regarding the white "column" sections at the front of the building, they wanted to confirm what material would be used? In the design it looks like it is the same material as what is currently on the front of the building, would the same materials be used for those white tile portion of the front of the building? **The material to be used on the white column section of the building is a product called Arris tile and comes in a smooth rock-like finish with 10 standard colours.**
3. Will the brick colour at the bottom match the brick colour of the rest of the building? **The lower brick can be matched fairly closely but not an exact match.**
4. For the upper windows would the top half round part of each window be glass, or would it be a non-glass material? They had suggested that there may be non-glass alternatives that would still look like real windows but may be a less expensive option. Again they asked about whether the windows would have all the trim pieces making up a design on the window as is shown in the design and would it be black trim? **The top half of the window would be glass.**

Have a great day!

Debbie Hamilton, CHS | Financial Advisor
Debbie Hamilton & Associates Ltd. | The Co-operators
555 Talbot St, St Thomas, ON, N5P 1C5
Tel: 519-633-3600 | Fax: 519-633-5347

1-19 King St, Aylmer, ON, N5H 1Z9
Tel: 519-765-3636 | Fax: 519-765-3606



Jay Okkerse
CONTRACTING
LTD.

QUOTE

45 Yarmouth Rd
St. Thomas, ON
N5P 3Z8
Phone 519 637-1536
Fax 519 637-3627
www.jocontracting.ca

CONTRACT #5222B
DATE: OCTOBER 17, 2017



CLIENT Cooperators
555 Talbot St
St. Thomas, ON
519-633-3600
Attn: Debbie Hamilton

RENOVATE 22' WIDE EXTERIOR STORE FRONT

PHASE #1

Demolition:

- Obtain a permit to shut down sidewalk
- Set up scaffolding
- Remove & dispose of:
 - Upper siding, approximately 2' 8" x 22' plus upper and lower flashing
 - Two front doors
 - One front show room window
 - Ceramic wall tile approximately, 140 SF
- Supply & install one store front window, as drawings show
 - 8' x 6'
 - Renovate opening to proposed size
 - Brick mould
 - Mullians
 - Venting transoms across top, fixed bottom (three sections)
 - Low E and argon gas
 - Paint grade interior trim
- White in and black out
- Supply & install office front door
 - 6' 8" x 8' 6"
 - Door frame and side light and transom
 - Passage knob
 - Dead bolt
 - Budget of \$3500.00 included for door selection
- Supply & install new apartment front door:
 - 3' 2" x 8' 6"
 - Door, frame and transom
 - Passage knob
 - Dead bolt
 - Frame
 - Budget of \$3500.00 included for door selection

Finishes:

- Supply & install 3' high thin brick, mesh base and sills approximately 69 SF on wall
- Supply & install aris tile approximately 210 SF on wall and ceiling
- Supply & install specified siding from proposed brick sill to the underside of the proposed upper windows, 2' 8" H x 22' W area with a budget of \$5.00/SF on materials
- Supply & install all necessary flashings
- Install four goose neck lights – *supplied by Owner*
- Install new sign, *supplied by Owner*

QUOTE: \$33 393.91 plus HST

PHASE #2

Doors & Windows

- Remove & dispose of three upper windows
- Supply & install three upper windows:
 - 4' x 6'
 - 4' x 6'
 - 6' x 7'
 - Mirrored glass top on three upper half rounds
 - ½ round tops (fixed and mirrored)
 - Brick mould
 - Mullians
 - Rectangular low window is a single slider, as shown
 - Low E and argon gas
 - Paint grade interior trim
 - White in and black out

QUOTE: \$17 649.80 plus HST

~Jay Okkerse Contracting is fully insured – WSIB & Liability~

TERMS UPON ACCEPTANCE OF QUOTE:

- This estimate is for completing the job as directed above and in the most efficient manner possible. Work completed after hours or work completed in phases are subject to additional charges unless specified on quote.
- This quote is based on our evaluation and does not include material price increases or additional labour and materials that may be required should unforeseen problems or adverse weather conditions arise after the work has started.
- Any additional work requested and completed beyond the scope of this quote will be charged at an hourly rate, plus material costs unless otherwise specified.
- Payment due upon completion of project.

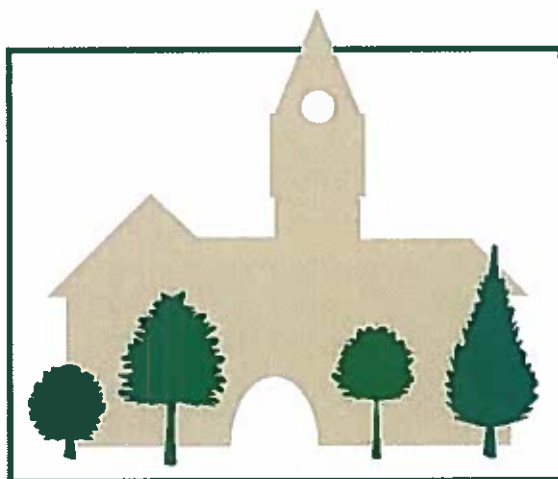
PROPOSED BY:

ACCEPTED BY:

CIP Applications												
Application Number	Applicant	Property Address	Project	Residential Units	Total Project	CIP Grant	CIP Loan	Project Complete				
1	2003-001	Jan Van Der Veen	384-390 Talbot St. Residential	4	130,000	20,000	40,000	Complete				
2	2003-002	914204 Ontario Ltd.	574-584 Talbot St. Residential	3	100,000	15,868	30,000	Complete				
3	2003-004	Cosens	445 Talbot Facade	3	20,851	10,000	20,000	Complete				
4	2003-010	1001512 Ontario Ltd.	568 Talbot St. Facade		65,000	15,000	20,000					
5	2003-011	1001512 Ontario Ltd.	570-572 Talbot St. Facade		45,000	10,000	20,000					
6	2003-012	Andy Sheridan	527 Talbot St. Facade		19,800	7,500	10,000	Complete				Project not Completed
7	2003-023	Mugford	433-435 Talbot Residential	2	20,049	7,500	10,000	Complete				Project not Completed
8	2004-013	YWCA	16 Mary St. Facade		60,000		20,000					Loan Payments in Progress
9	2004-014	Jan Van Der Veen	390 Talbot St. Facade		21,262	10,000		Complete				
10	2004-016-F	Steve Jackson	767 Talbot St. Facade		16,548	5,000	20,000	Complete				
11	2004-017-F	Steve Jackson	767 Talbot St. Residential	3	40,000	15,000	30,000	Removed				Project not Completed
12	2004-017	Steve Jackson	763-765 Talbot St. Facade	2	48,300	10,000	20,000	Complete				
13	2005-028-F	Holy Angels Church (Rev. David Boulette)	502 Talbot St. Facade		4,871,341	10,000	20,000	Removed				Project not Completed
14	2005-030	Lindmar Holdings Inc. (Mark Hindley)	349 Talbot St. Residential	4	41,681	18,000	18,000	Complete				
15	2005-030-F	Lindmar Holdings Inc. (Mark Hindley)	349 Talbot St. Residential		26,416	10,000	9,500	Complete				
16	2005-031-F	1301314 Ontario Inc. (Al Goulding)	168 Curtis St. Facade		18,433	7,500	4,250	Complete				
17	2005-033-F	Gillian Martin (Ansell's Trophy)	648 Talbot St. Facade		57,537	7,500	20,000	Complete				
18	2005-034-F	Nathan Patry	286 Talbot St. Facade		23,500	10,000	6,750	Complete				
19	2005-035-F	James and Jane Daminoff	286 Talbot St. Residential	11	242,709	40,000	80,000	Complete				
20	2006-041	Toth Jewellers	23 East St. Facade		79,052	17,680	7,500	Complete				
21	2007-035	Wallis Residential	559 Talbot Facade		16,682	7,500	8,400	Complete				
22	2007-044	Larry Reiger	395-399 Talbot Residential	6	85,000	40,000	42,500	Complete				
23	2007-044	Larry Reiger	370 Talbot Facade		38,500	10,000	19,500	Complete				
24	2006-036	Novi Construction	25 Scott Residential	23	1,700,000	134,920		Complete				
25	2007-045	Mike Robbins	701-703 Talbot Residential	2	42,000	10,000	10,000	Complete				
26	2008-050	Richardsons	679 - 691 Talbot Facade		33,000	10,000	10,000	Complete				
27	2008-049	Klassen	14 - 16 Metcalf Residential	2	54,000	10,000	10,000	Complete				
28	2008-051	Canadian Mental Health	659 Talbot Facade		182,464	10,500	10,500	Complete				
29	2008-051	Jason and Nathan Patry	268 - 274 Talbot Facade	8	21,556	10,000	10,000	Complete				
30	2008-040	Dutch Bakery	295 Talbot Facade		50,000	7,500	80,000	Complete				Filed closed no grant paid
31	2008-054	I Deal Toys	260 Talbot Facade		170,000	0						Loan paid project not completed
32	2009-055	Trevor Niville	616 Talbot Facade		24,000	0						
33	2009-057	JM James	86 Talbot Residential	5	65,000	10,000	20,000	Complete				Added to Tax Roll
34	2009-058	North American Railway	750 Talbot Facade		23,294	10,000		Complete				
35	2009-059	State Farm Insurance	729 Talbot Facade		25,000	10,000		Complete				
36	2009-059	State Farm Insurance	729 Talbot Facade		4,100	2,050		Complete				

APPLICATION FORM

ST. THOMAS COMMUNITY IMPROVEMENT PLAN FINANCIAL INCENTIVE PROGRAMS



THE CORPORATION OF THE CITY OF
ST. THOMAS

CITY
NOV 07 2017
MANAGER

HERITAGE TAX RELIEF PROGRAM

HERITAGE DESIGN PROGRAM

RESIDENTIAL CONVERSION, REHABILITATION AND INTENSIFICATION PROGRAM

PROPERTY TAX INCREMENT GRANT PROGRAM

FAÇADE IMPROVEMENT PROGRAM

PLANNING AND BUILDING FEES PROGRAM

DEVELOPMENT CHARGES REBATE PROGRAM

PARKLAND DEDICATION EXEMPTION PROGRAM

FINANCIAL INCENTIVE PROGRAMS

SUBJECT PROPERTY CONTINUED (1.1.3)

Are property taxes for the subject property in arrears? Yes No

Are there any outstanding orders registered against the subject property? Yes No

Are there any outstanding violations under the Fire Code? Yes No

Have grants previously been received from the City for subject property? Yes No

Please describe including total amounts of grants:

Estimated Current Market Value of Property: \$ \$ 208,000


Please indicate source of estimate: JUST PURCHASED FOR \$ 208,000

1.2 AUTHORIZATION

If this application is to be signed by an agent or solicitor on behalf of the property owner/s, complete this section. This section should be signed by the property owners/or if held by a corporation, by a signing officer (name and position) of the corporation.

I hereby authorize _____ as agent, to act on my behalf in regard to the above application. I acknowledge that the authorized agent is to receive all correspondence and information pertaining to this application on my behalf.

Dated at LONDON ON this 20th day of SEPTEMBER 2017

Signature of Owner/s


Signature of Witness _____

(Print Name), KEVIN MILLER a duly authorized Commissioner of Oaths

1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at LONDON ON this 20th day of SEPTEMBER 2017

Signature of Owner/s [Handwritten Signature]

Signature of Witness _____

(Print Name), KEVIN MILLER a duly authorized Commissioner of Oaths

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- Heritage Tax Relief Program
- Heritage Design Program
- Planning & Building Fees Program
- Development Charges Program
- Parkland Dedication Exemption Program
- Residential Conversion, Rehabilitation and Intensification Program
- Façade Improvement Program
- Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

-CONVERSION OF 16 PEARL ST HAIR SALON INTO 3
-UNITS. (TRIPLEX)

MAIN FLOOR 2 BEDROOM UNIT

2ND FLOOR 2 BEDROOM UNIT + PARTIAL 3

3RD FLOOR 1 BEDROOM UNIT.

& ALL UNITS TO HAVE SEPERATE
ENTRANCE &

If additional space is required, please attach the additional information on a separate sheet.

1.6 PLEASE PROVIDE A DESCRIPTION OF FAÇADE IMPROVEMENTS (IF APPLYING FOR FAÇADE IMPROVEMENT PROGRAM) *Note: improvements must follow urban design guidelines as established by the Urban Design Study.*

If additional space is required, please attach the additional information on a separate sheet.

1.7 GENERAL APPLICATION QUESTIONS

1. Is your property a designated heritage building? Yes No

2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes No

3. What is the current status of the building? Vacant Occupied Underutilized

If other, please explain:

4. Are you converting and/or rehabilitating this space? Yes No

If yes: a) are you creating new residential units? Yes No

b) are you rehabilitating vacant residential units? Yes No

c) are you bringing occupied residential units up to code? Yes No

5. Are you intensifying and/or redeveloping this space? Yes No

If yes a) are you creating new residential units through the addition of new building space? Yes No

b) are you demolishing existing building(s) to create a new building with new residential units? Yes No

How many residential units are being added?

6. Are you adding commercial space? Yes No

If yes, please provide the square footage

7. Please specify the financial incentives you are interested in if applying for the following programs:

a) Residential Conversion, Rehabilitation and Intensification Program
Grant Loan Both

b) Façade Improvement Program
Grant Loan Both

FINANCIAL INCENTIVE PROGRAMS

8. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (Note: Side and rear façade improvements are eligible only if the public view of the building is significant)

- Front Façade
- Side Façade
- Rear Façade

9. Is your property located in one of the CIP Areas? Yes No

If yes, please specify area.

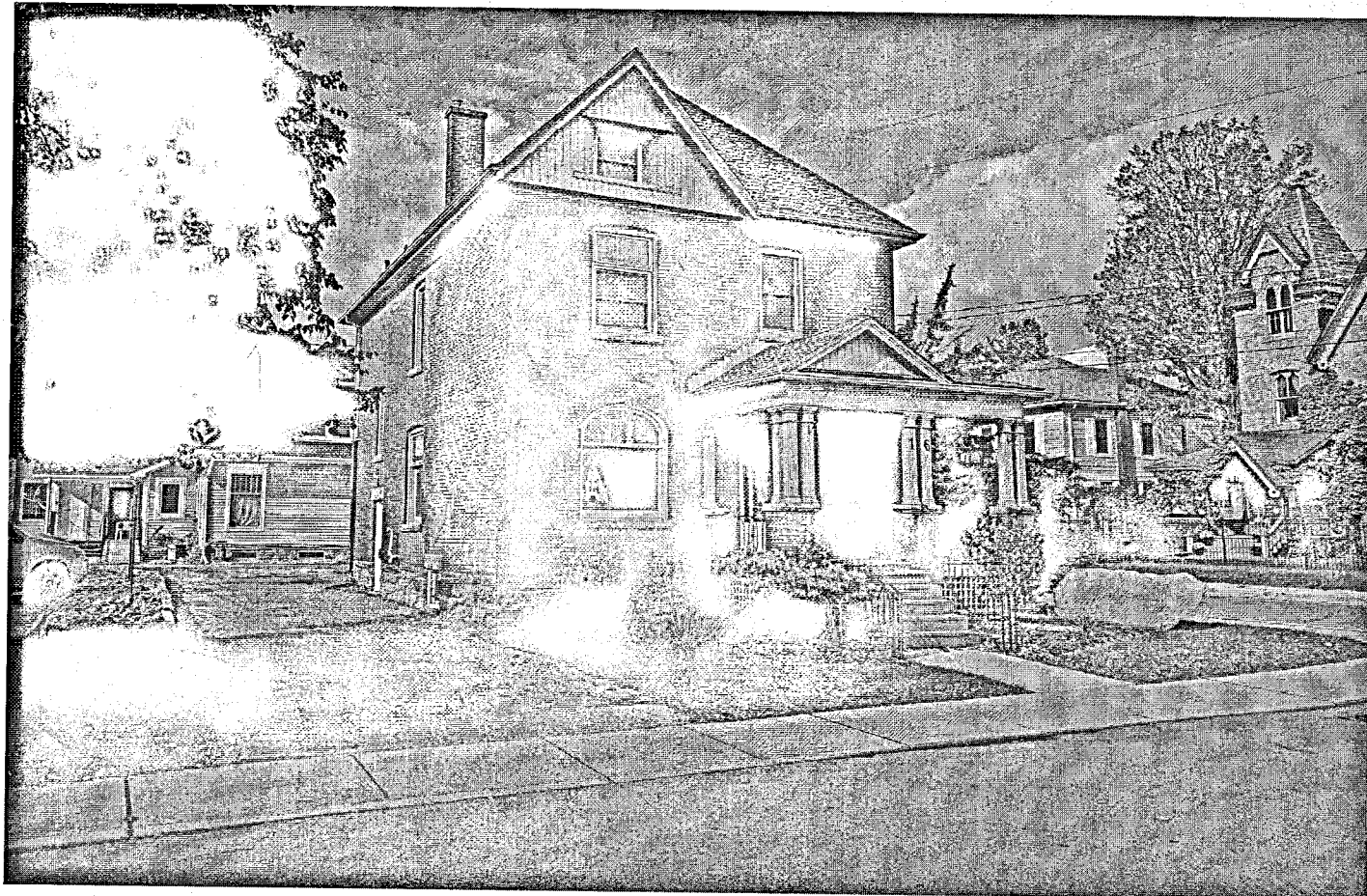
10. Estimated Total Construction Cost for the Residential project:

11. Estimated Total Construction Cost for Façade Improvement:

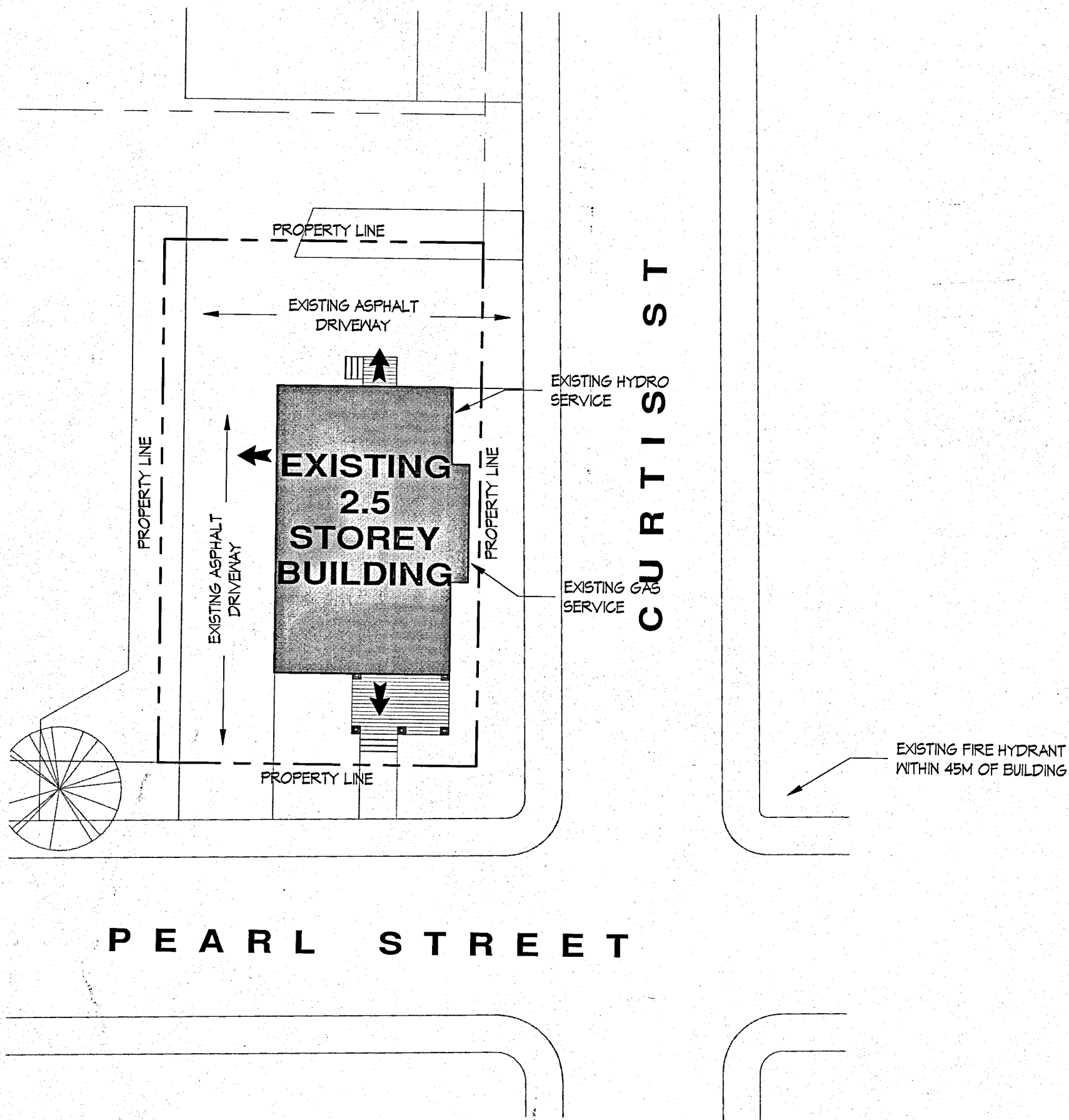
12. Estimated Total Design and Other Professional Costs:

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the Building Permit Value for Construction costs and actual receipts for Design and Professional costs).

13. Have you made an application for a Building Permit pertaining to the work proposed? Yes No



EXISTING CONDITIONS



SITE PLAN

SCALE: 1/16" = 1'-0"

CITY

NOV 07 2017

MANAGER

O.B.C. DIV. B REFERENCES
DIVISION B UNLESS NOTED A OR C

CODE ANALYSIS	2012 ONTARIO BUILDING CODE		O.B.C. DIV. B REFERENCES		
PROJECT DESCRIPTION:	<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION <input checked="" type="checkbox"/> CHANGE OF USE		<input type="checkbox"/> PART 11 11.1 TO 11.4	<input type="checkbox"/> PART 3 A.1.1.2	<input type="checkbox"/> PART 9 A.1.1.2 & 9.10.3
MAJOR OCCUPANCY:	GROUP C RESIDENTIAL SUITES		3.1.2.1.(1)	9.10.2	
BUILDING AREA: (m²)	EXIST: 119.6 sq.m.	NEW: --	TOTAL: 119.6 sq.m.	A.1.4.1.2	A.1.4.1.2
GROSS AREA: (m²)	1st FL: 119.6 sq.m.	1st FL: --	TOTAL: 119.6 sq.m.	A.1.4.1.2	A.1.4.1.2
NO. OF STOREYS:	ABOVE GRADE: 2.5 BELOW GRADE: 0			A.1.4.1.2 & 3.2.1.1	A.1.4.1.2 & 9.10.4
BUILDING HEIGHT:	EXISTING: 8 m. NEW:			3.2.1.1	9.10.20
NO. OF STREETS:	TWO			3.2.2.10 & 3.2.5	9.10.20
BUILDING CLASSIFICATION:	GROUP C (PREVIOUSLY GROUP D - PERSON SERVICE)		3.2.2.20 TO .83	9.10.2	
SPRINKLER SYSTEM PROPOSED:	<input checked="" type="checkbox"/> NOT REQUIRED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> SPECIFIC LOCATION ONLY		3.2.1.5 3.2.2.17 3.2.2.20 TO .83 3.2.5.13	9.10.8	
STANDPIPE REQ'D:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		3.2.9	N/A	
FIRE ALARM REQ'D:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		3.2.4	9.10.18	
ADEQUATE WATER SERVICE:	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		3.2.5.7	N/A	
HIGH BUILDING	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		3.2.6	N/A	
PERMITTED CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE CONSTRUCTION <input type="checkbox"/> NON-COMBUSTIBLE CONSTRUCTION <input checked="" type="checkbox"/> BOTH		3.2.2.20 TO .83	9.10.6	
ACTUAL CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE CONSTRUCTION <input type="checkbox"/> NON-COMBUSTIBLE CONSTRUCTION <input checked="" type="checkbox"/> BOTH		3.2.2.20 TO .83	9.10.6	
MEZZANINE AREA: (m²)			3.2.1.1.(3)-(6)	9.10.4.1	
OCCUPANT LOAD:	OCCUPANT LOAD BASED ON <input checked="" type="checkbox"/> m²/PERSON <input type="checkbox"/> DESIGN OF BUILDING BASEMENT = 0 OCCUPANTS UNIT 1 = 2 OCCUPANTS UNIT 2 = 4 OCCUPANTS UNIT 3 = 2 OCCUPANTS		3.1.17	9.9.1.3	
PLUMBING FIXTURES:	OCCUPANT LOAD	FIXTURES MALE FEMALE	3.7.4	9.31	
	UNIT 1	= FIXTURES PER 9.31.4			
	UNIT 2	= FIXTURES PER 9.31.4			
	UNIT 3	= FIXTURES PER 9.31.4			
BARRIER FREE DESIGN:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES AS EXISTING CONDITIONS		3.8	9.5.2	
HAZARDOUS SUBSTANCES:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		3.3.1.2 & 3.3.1.19	9.10.1.3.(4)	

REQUIRED (FRR): FIRE RESISTANCE RATING (FRR):

FRR HORIZONTAL ASSEMBLIES		LISTED DESIGN NO.			
FLOORS	45min HR	DIRECT APPLIED 5/8" TYPE 'X' GYPSUM BD. OVER EXISTING PLASTER CEILINGS	3.2.2.20 TO .83	9.10.8	
ROOF	N/A HR				
MEZZANINE	N/A HR		3.2.2.14.		
FRR FOR SUPPORTING MEMBERS		LISTED DESIGN NO.			
FLOORS	45min HR	DIRECT APPLIED 5/8" TYPE 'X' GYPSUM BD. OVER EXISTING PLASTER CEILINGS	3.2.3.1.	9.10.14	
ROOF	N/A HR				
MEZZANINE	N/A HR				

SPATIAL SEPARATION EXTERIOR WALL CONSTRUCTION 3.2.3.1. 9.10.14

WALLS	AREA OF EXPOSED BUILDING FACE (m²)	LD (m)	LH or HL	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	TYPE OF CONSTRUCTION REQUIRED	PROPOSED CONSTRUCTION	TYPE OF CLADDING REQUIRED	PROPOSED CLADDING
NORTH	* NO CHANGE TO BASE BUILDING (INTERIOR TENANT FIT OUT)										
EAST	* NO CHANGE TO BASE BUILDING (INTERIOR TENANT FIT OUT)										
WEST	* NO CHANGE TO BASE BUILDING (INTERIOR TENANT FIT OUT)										
SOUTH	* NO CHANGE TO BASE BUILDING (INTERIOR TENANT FIT OUT)										

DO NOT SCALE DRAWINGS.
 ALL DESIGNS, DRAWINGS AND SPECIFICATIONS ARE COPYRIGHT AND THE PROPERTY OF FOUR WIDE DESIGN LTD.
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE REPORTING ANY ERRORS AND OMISSIONS TO FOUR WIDE DESIGN LTD.
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 THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE DESIGNER, ARCHITECT OR ENGINEER.
 DRAWINGS AND DESIGNS SHALL NOT BE COPIED, REPRODUCED, ALTERED, OR DISTRIBUTED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF FOUR WIDE DESIGN LTD.

DRAWINGS PREPARED BY:

four wide DESIGN

Four Wide Design Ltd.
 214 Burlington Street
 London, Ontario N5Z 3W4
 London: 519-488-5437
 Toronto: 416-619-5494
 Web: www.fourwidedesign.ca
 Email: info@fourwidedesign.ca
 Ontario Building Code Registration # BCIN 91315

NO	REVISIONS:	DATE	BY
1	ISSUED FOR PERMIT	11/6/17	MCF

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 (Required unless design is exempt under 2.17.5.1 of the building code)
 Michael Ferrell *[Signature]* 34144
 NAME SIGNATURE B.C.I.N.

REGISTRATION INFORMATION
 (Required unless design is exempt under 2.17.5.1 of the building code)
 Four Wide Design Ltd. 31375
 FIRM NAME B.C.I.N.

CLIENT

PROJECT

RENOVATIONS FOR NEW RESIDENTIAL UNITS

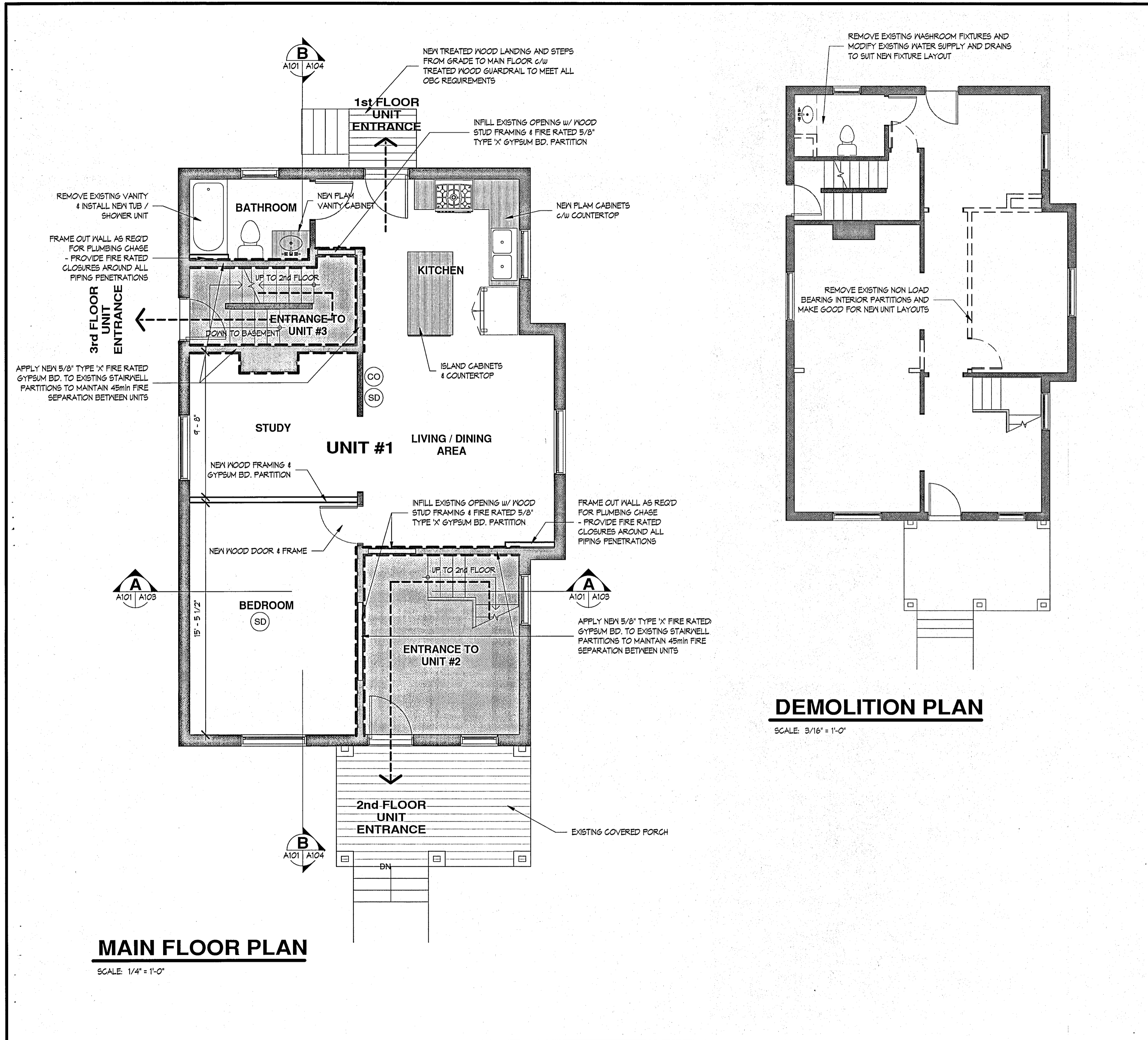
16 PEARL STREET, ST. THOMAS

SHEET TITLE

OBC MATRIX & SITE LOCATION

REVIEWED M. FERRELL BCIN#34144	PROJECT # 2017-213
DRAWN M. FERRELL	SHEET # 1
SCALE As indicated	REVISION 1
DATE NOVEMBER 2017	A100

PLOT DATE/TIME: 11/7/2017 10:12:46 AM



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DRAWINGS PREPARED BY:

four wide DESIGN

Four Wide Design Ltd.
 214 Burlington Street
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 Email: info@fourwidedesign.ca

www.fourwidedesign.ca Ontario Building Code Registration # BCIN 91375

NO	REVISIONS:	DATE	BY
1	ISSUED FOR PERMIT	11/6/17	MCF

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 (Required unless design is exempt under 2.17.5.1. of the building code)

Michael Ferrell *[Signature]* 34144
 NAME SIGNATURE B.C.I.N.

REGISTRATION INFORMATION
 (Required unless design is exempt under 2.17.5.1. of the building code)

Four Wide Design Ltd. 31375
 FIRM NAME B.C.I.N.

CLIENT

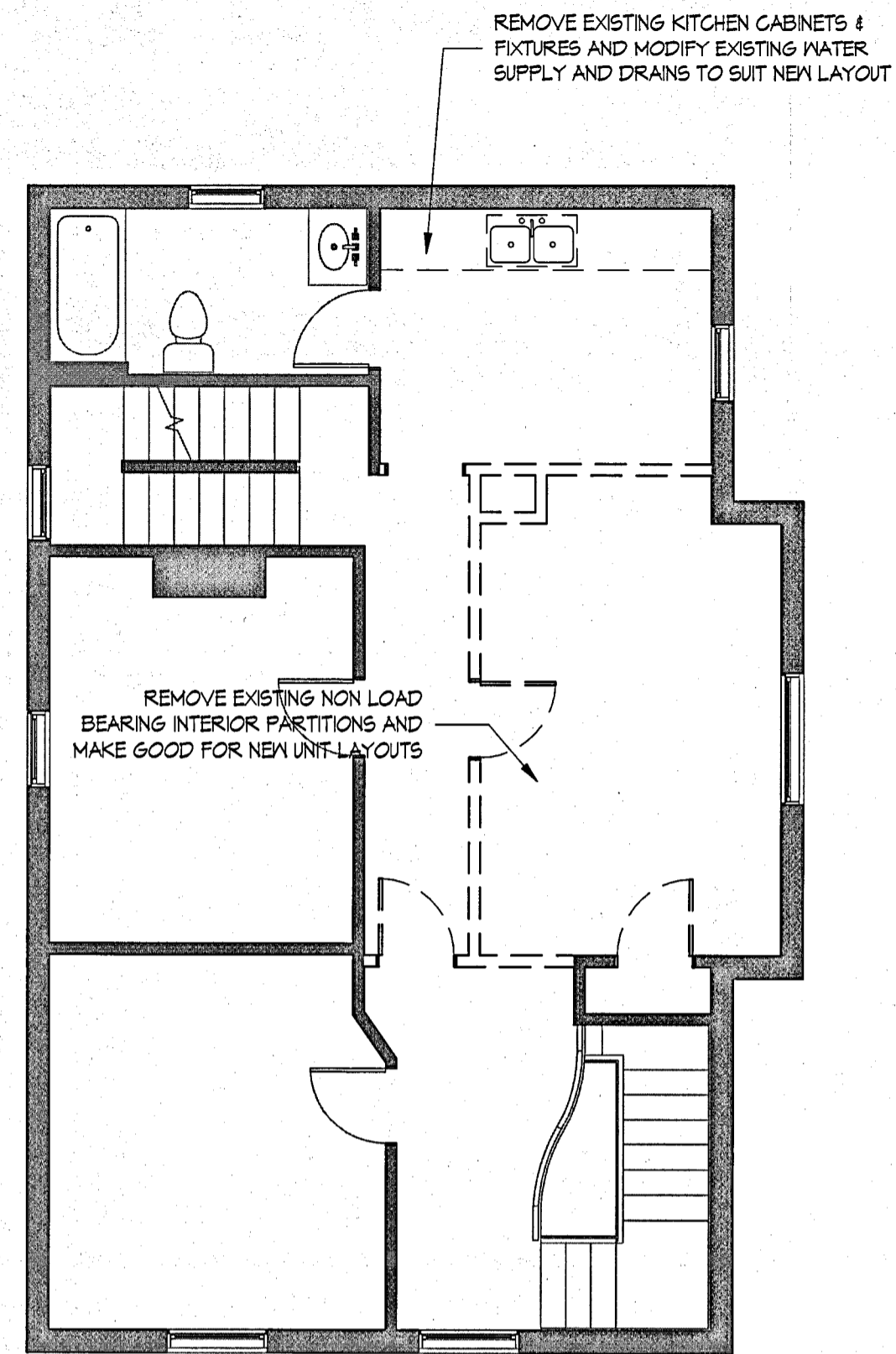
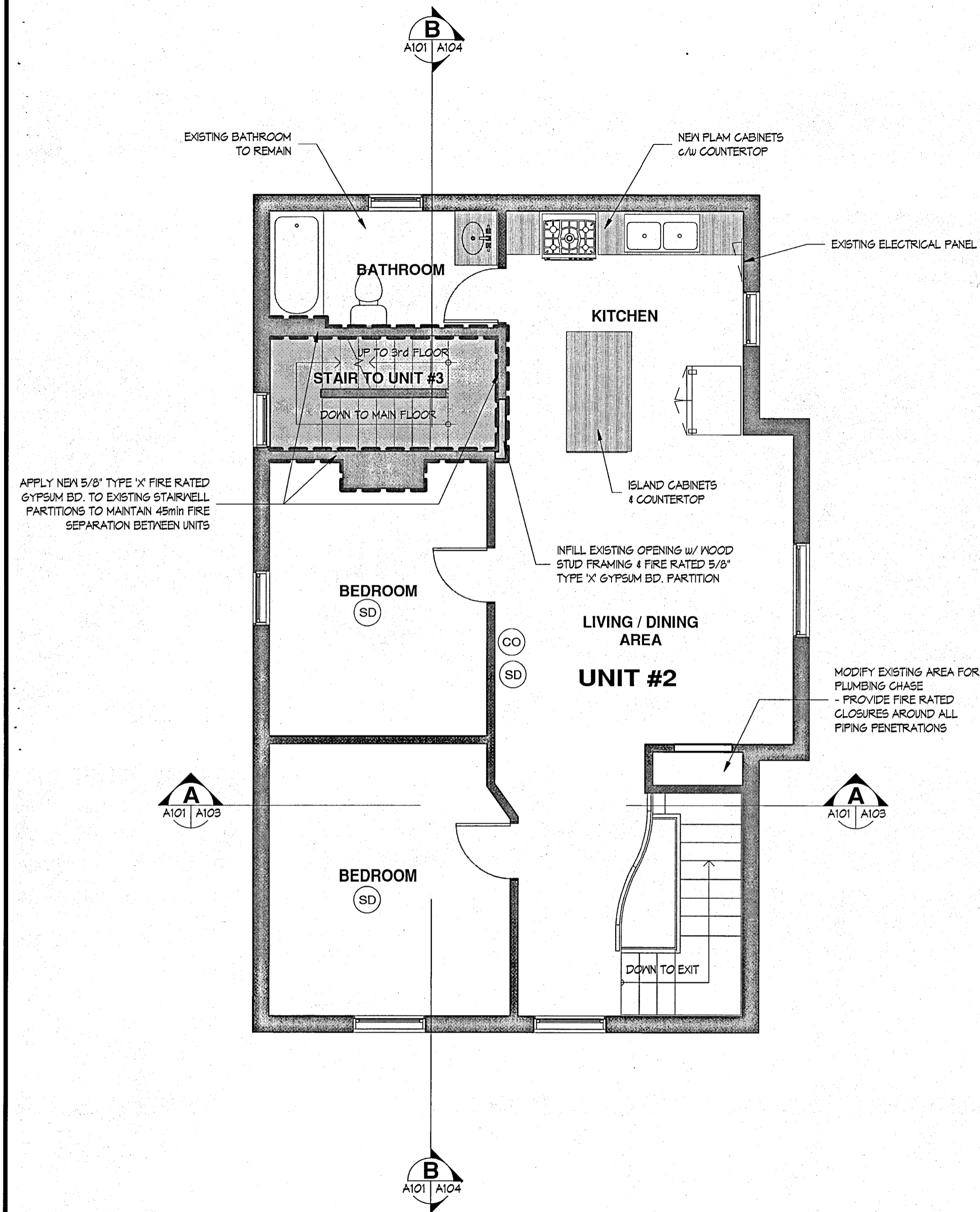
PROJECT

RENOVATIONS FOR NEW RESIDENTIAL UNITS

16 PEARL STREET, ST. THOMAS

SHEET TITLE		MAIN FLOOR RENOVATION	
REVIEWED	M. FERRELL BCIN#34144	PROJECT #	2017-213
DRAWN	M. FERRELL	SHEET #	1
SCALE	As indicated	A101	
DATE	NOVEMBER 2017		

11/7/2017 10:12:47 AM



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214 Burlington Street
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Toronto: 416-619-5494
Fax: 519-913-1666
Web: www.fourwidedesign.ca
Email: info@fourwidedesign.ca

www.fourwidedesign.ca Ontario Building Code Registration # BCIN 37375

NO	REVISIONS:	DATE	BY
1	ISSUED FOR PERMIT	11/6/17	MCF

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
(Required unless design is exempt under 2.17.5.1 of the building code)

Michael Ferrell *[Signature]* 34144
NAME SIGNATURE B.C.I.N.

REGISTRATION INFORMATION
(Required unless design is exempt under 2.17.5.1 of the building code)

Four Wide Design Ltd. 37375
FIRM NAME B.C.I.N.

CLIENT

PROJECT

RENOVATIONS FOR NEW RESIDENTIAL UNITS

16 PEARL STREET, ST. THOMAS

SHEET TITLE

2nd FLOOR RENOVATION

REVIEWED M. FERRELL BCIN#34144	PROJECT # 2017-213
DRAWN M. FERRELL	SHEET # 1
SCALE As indicated	REVISION 1
DATE NOVEMBER 2017	A102

PLOT DATE/TIME: 11/7/2017 10:12:48 AM

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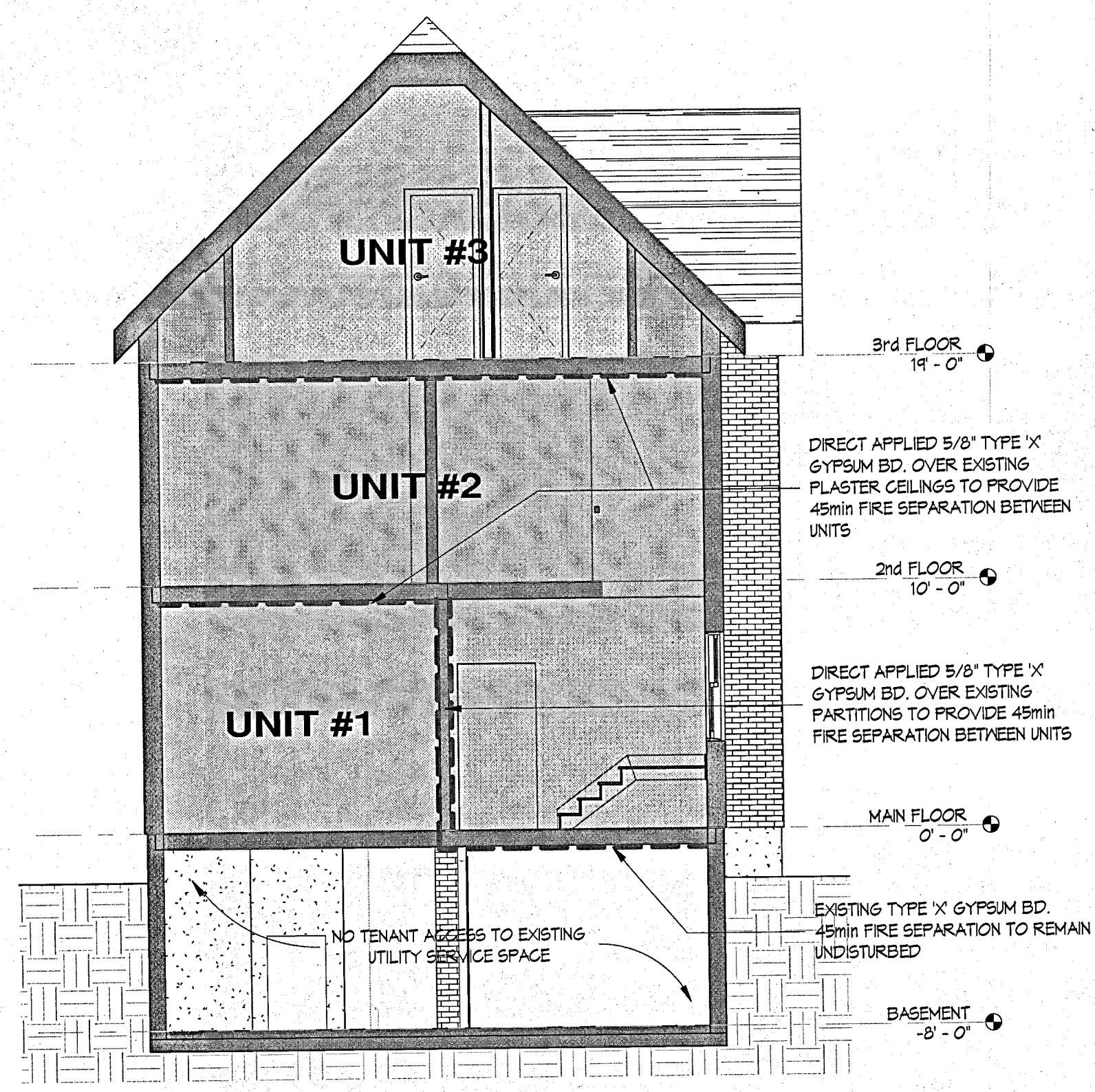
NO	REVISIONS:	DATE	BY
1	ISSUED FOR PERMIT	11/6/17	MCF

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 REGISTRATION INFORMATION
 (Required unless design is exempt under 2.17.5.1 of the building code)
 Four Wide Design Ltd. 37375
 FIRM NAME B.C.I.N.

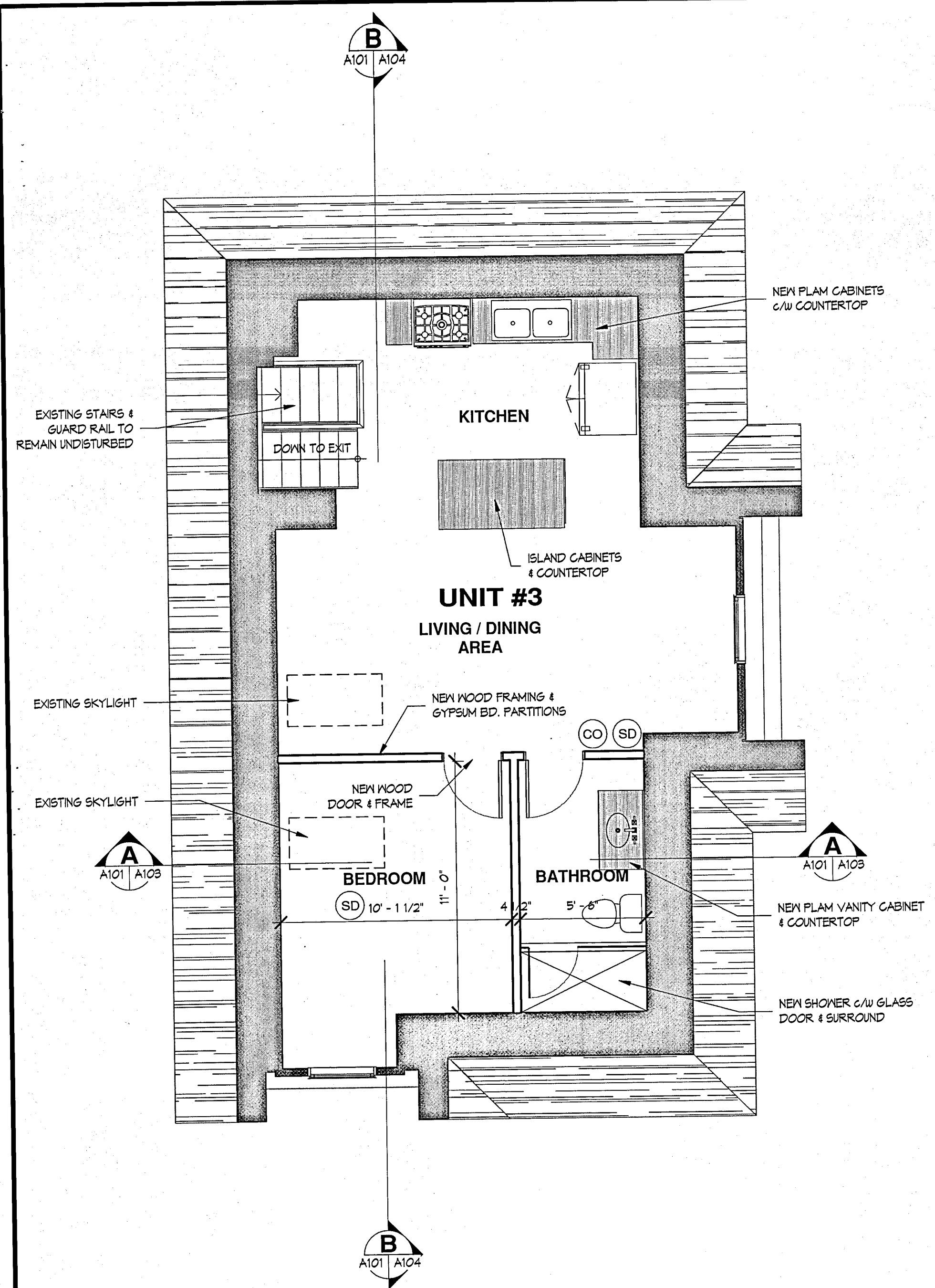
CLIENT

PROJECT
RENOVATIONS FOR NEW RESIDENTIAL UNITS
 16 PEARL STREET, ST. THOMAS

SHEET TITLE
UPPER LEVEL RENOVATION
 REVIEWED M. FERRELL BCIN#34144 PROJECT # 2017-213
 DRAWN M. FERRELL SHEET # 1 REVISION 1
 SCALE As indicated
 DATE NOVEMBER 2017



BUILDING SECTION
 SCALE: 3/16" = 1'-0"



UPPER LEVEL PLAN
 SCALE: 1/4" = 1'-0"

PLOT DATE/TIME 11/7/2017 10:12:41 AM

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NO	REVISIONS:	DATE	BY
1	ISSUED FOR PERMIT	11/6/17	MCF

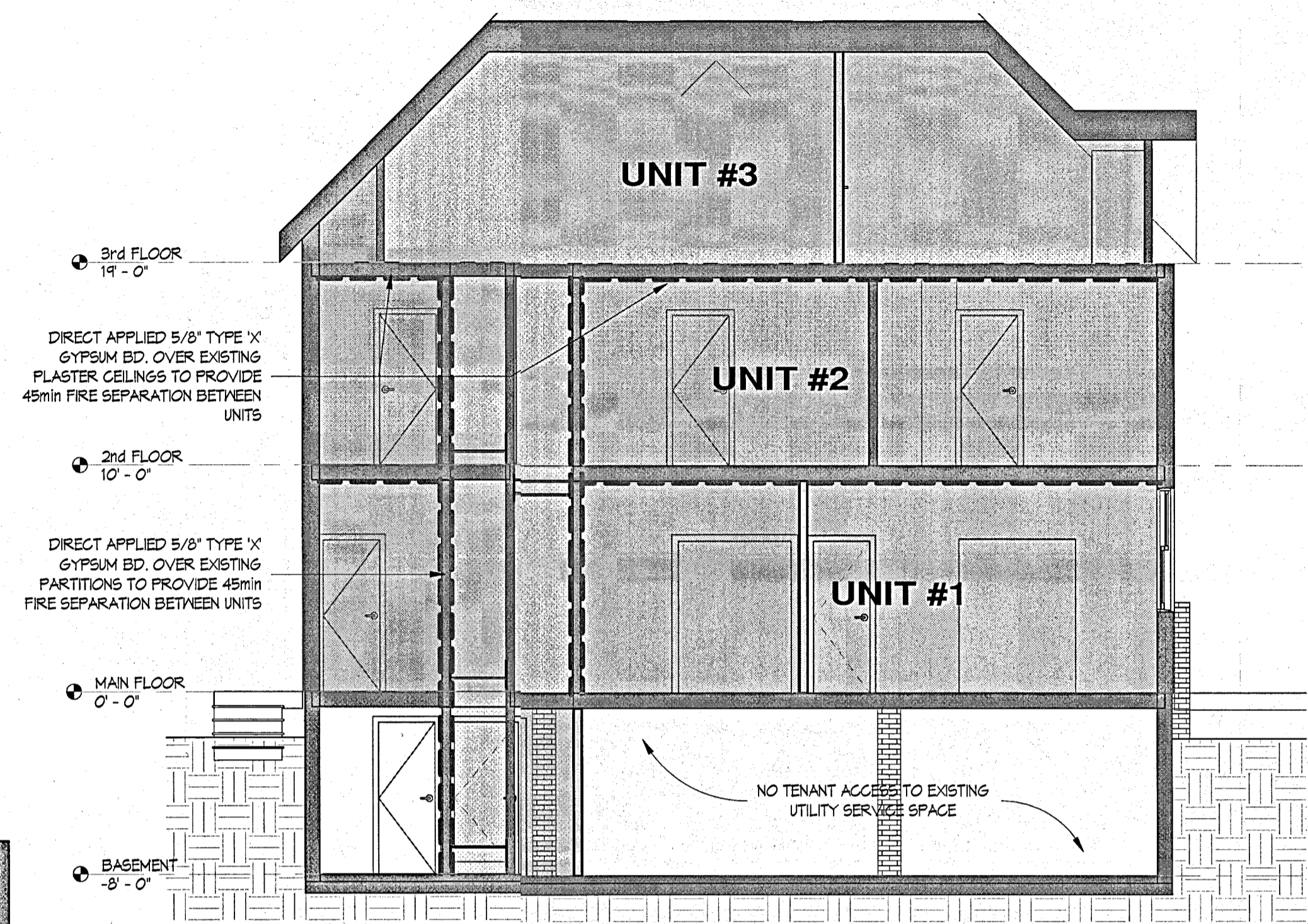
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 QUALIFICATION INFORMATION
 (Required unless design is exempt under 2.17.5.1. of the building code)
 Michael Ferrell *[Signature]* 34144
 NAME SIGNATURE B.C.I.N.
 REGISTRATION INFORMATION
 (Required unless design is exempt under 2.17.5.1. of the building code)
 Four Wide Design Ltd. 31375
 FIRM NAME B.C.I.N.

CLIENT

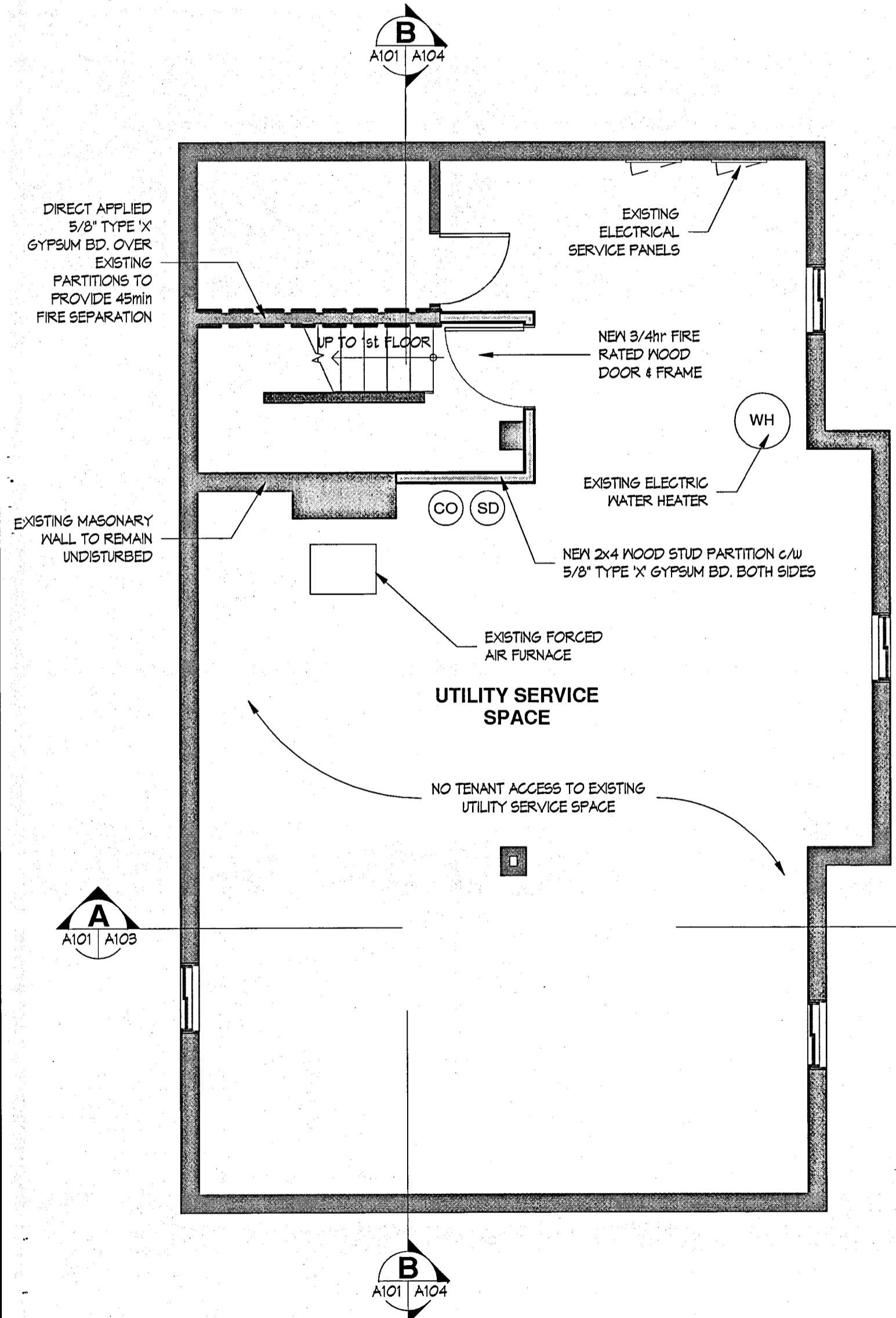
PROJECT
RENOVATIONS FOR NEW RESIDENTIAL UNITS
 16 PEARL STREET, ST. THOMAS

SHEET TITLE
BASEMENT RENOVATION

REVIEWED M. FERRELL BCIN#34144	PROJECT # 2017-213
DRAWN M. FERRELL	SHEET # 1
SCALE As indicated	REVISION 1
DATE NOVEMBER 2017	A104

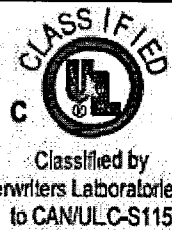


B BUILDING SECTION
 SCALE: 3/16" = 1'-0"



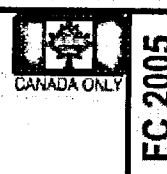
BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PLOT DATE/TIME: 11/7/2017 10:12:49 AM

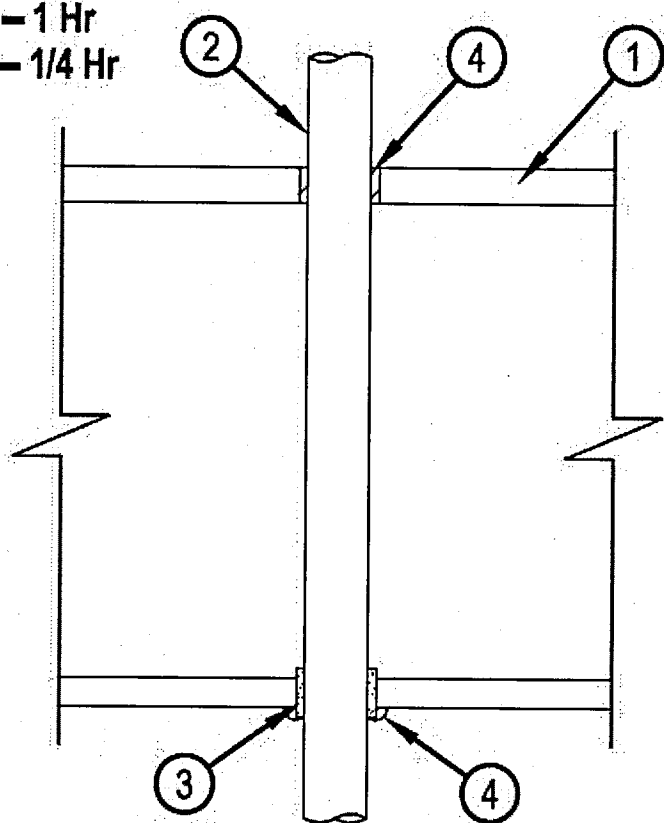
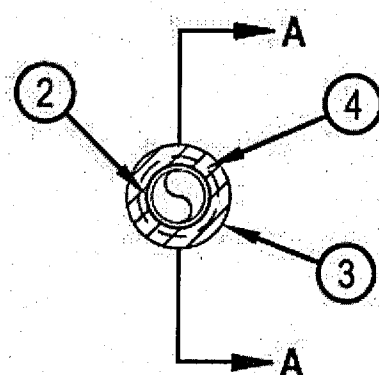


System No. F-C-2005

F Rating – 1 Hr
FT Rating – 1/4 Hr
FH Rating – 1 Hr
FTH Rating – 1/4 Hr



FC 2005



SECTION A-A

System tested with a pressure differential of 50 Pa between the exposed and the unexposed surfaces with the higher pressure on the exposed side.

1. Floor-Ceiling Assembly — The 1 hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in the individual L500 Series Floor-Ceiling Designs in the UL Fire Resistance Directory. The general construction features of the floor-ceiling assembly are summarized below:

- A. Flooring System — Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture* as specified in the individual Floor-Ceiling Design. Max diam of opening shall be 1-1/2 in. (38 mm).
 - B. Wood Joists* — Nom 10 in. (254 mm) deep (or deeper) lumber, steel or combination lumber and steel joists, trusses or Structural Wood Members* with bridging as required and with ends firestopped.
 - C. Gypsum Board* — Nom 5/8 in. (16 mm) thick, 4 ft (122 cm) wide as specified in the individual Floor-Ceiling Design.
2. Through Penetrants — One non-metallic tube to be installed concentrically within the firestop system. Annular space between tube and periphery of opening shall be 1/4 in. Tube to be rigidly supported on both sides of floor-ceiling assembly. The following types and sizes of non-metallic tubes or pipes may be used:
- A. Crosslinked Polyethylene (PEX) Tubing — Nom 1 in. (25 mm) diam (or smaller) SDR9 PEX tubing for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
 - B. Chlorinated Polyvinyl Chloride (CPVC) Pipe — Nom 25 mm (1 in.) drain (or smaller) SDR 11 CPVC for use in closed (process or supply) piping systems.
 - IPEX INC — AquaRise
3. Fill, Void or Cavity Materials* - Wrap Strip — Nom 3/16 in. (5 mm) thick by 1 in. (25 mm) wide intumescent wrap strip. One layer of wrap strip tightly wrapped around tube and held in place with tape. Wrap strip centered in annular space extending from both sides of gypsum board.
- HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — CP648-E W25/1" Wrap Strip
4. Fill, Void or Cavity Materials* - Sealant — Min 3/4 in. (19 mm) depth of fill material applied within the annulus, flush with the top surface of floor. A 1/4 in. (6 mm) diam bead of fill material shall also be applied at the wrap strip/gypsum board interface.
- HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant or FS-ONE MAX Intumescent Sealant.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



Hilti Firestop Systems

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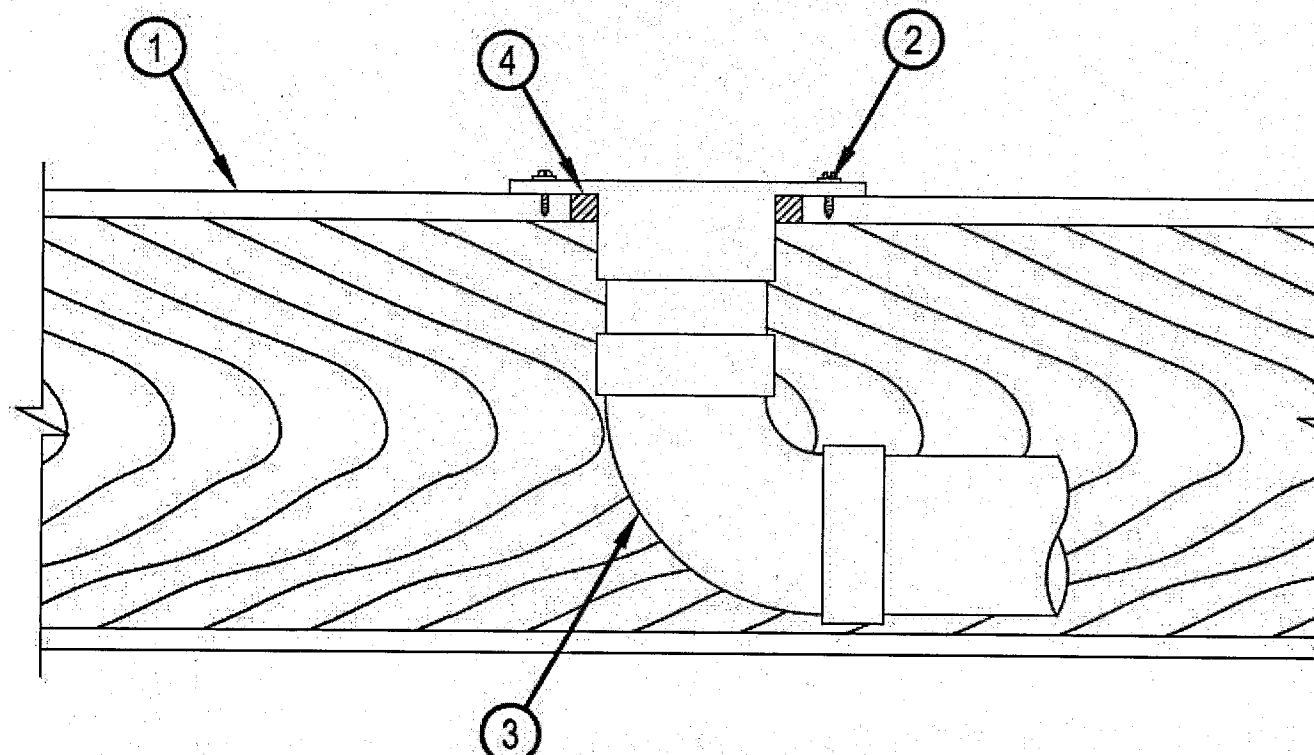


System No. F-C-2010

F Rating – 1 Hr
FT Rating – 3/4 Hr
FH Rating – 1 Hr
FTH Rating – 3/4 Hr

Classified by Underwriters Laboratories, Inc. to UL 1479 and CANULC-S115

FC 2010



System tested with a pressure differential of 50 Pa between the exposed and the unexposed surfaces with the higher pressure on the exposed side.

1. Floor-Ceiling Assembly — The 1 hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in the individual L500 Series Floor-Ceiling Designs in the UL Fire Resistance Directory. The general construction features of the floor-ceiling assembly are summarized below:

- A. Flooring System — Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture* as specified in the individual Floor-Ceiling Design. Max diam of opening shall be 127 mm (5 in.).
 - B. Wood Joists* — Nom 254 mm (10 in.) deep (or deeper) lumber, steel or combination lumber and steel joists, trusses or Structural Wood Members* with bridging as required and with ends firestopped.
 - C. Gypsum Board* — Nom 16 mm (5/8 in.) thick, 1.22 m (4 ft) wide as specified in the individual Floor-Ceiling Design.
2. Closet Flange — Acrylonitrile butadiene styrene (ABS) or polyvinyl chloride (PVC) closet stub sized to accommodate drain pipe. Closet flange installed over drain piping within floor opening with flange secured to plywood floor with steel screws. Annular space between closet flange and periphery of opening shall be 6 mm (1/4 in.).
3. Drain Piping — Nom 104 mm (4 in.) diam Schedule 40 acrylonitrile butadiene styrene (ABS) or polyvinyl chloride (PVC) drain pipe and 90 degree elbow for use in vented (drain, waste or vent) piping systems. Pipe installed concentrically within firestop system.
4. Fill, Void or Cavity Materials* - Sealant — Min 19 mm (3/4 in.) thickness of fill material applied within the annulus, flush with the bottom surface of floor.
- HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — CP 606 Flexible Firestop Sealant or FS-ONE Sealant or FS-ONE MAX Intumescent Sealant.
5. Water Closet — (Not Shown) - Floor mounted vitreous china water closet.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



Hilti Firestop Systems

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Ontario Building Code Registration # BC2N 97375

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Michael Ferrell *Michael Ferrell* 34144
NAME SIGNATURE B.C.I.N.

REGISTRATION INFORMATION
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Four Wide Design Ltd. 37375
FIRM NAME B.C.I.N.

CLIENT

PROJECT

RENOVATIONS FOR NEW RESIDENTIAL UNITS

16 PEARL STREET, ST. THOMAS

SHEET TITLE

PLUMBING FIRE STOP DETAILS

REVIEWED	PROJECT #
M. FERRELL BCIN#34144	2017-213
DRAWN	SHEET #
M. FERRELL	1
SCALE	REVISION
DATE	
NOVEMBER 2017	

A105

11/7/2017 10:12:50 AM