THE CORPORATION OF THE CITY OF ST. THOMAS

COMMUNITY IMPROVEMENT PROGRAM EVALUATION COMMITTEE

DECEMBER 8, 2017 8:30 A.M. CITY HALL ROOM 204

- 1. Confirmation of Minutes : September 22, 2017
- 2. Disclosure of Interest
- 3. Project Applications
 - a) 16 Pearl Street, Kevin Miller, Residential Conversion
 - b) 555 Talbot, Debbie Hamilton, The Cooperators, Façade Improvements
- 4. New Business
 - a) Overview of CIP Applications
- 5. Unfinished Business
 - a) Promoting CIP Program on Talbot St. West
- 6. Adjournment

Graves, Wendell

From: Sent: To: Subject: Debbie Hamilton [debbie_hamilton@cooperators.ca] October 17, 2017 10:07 AM Graves, Wendell RE: Facade Improvement

Hi Wendell,

Jay has also answered the questions below in red. Let me know if there are any other questions that need to be answered ⁽²⁾

- 1. Regarding the large window, they noted a few areas where the design and the work described in the quote didn't match and they wanted us to clarify if the work done would match the design:
- a. The image shows transom across the top of the large front window, but no transom is listed on the quote. Will there be transom across top of the large front window? Yes, the large lower window has a vented transom across the top (awning window).
- b. They noted the quote shows one 8'x6' window whereas the design shows the window is separated into three parts with the transom at the top. Yes the large lower window quoted is three windows couplered together with one transom above each of the three lower windows, resulting in one opening.
- c. The quote reflects white trim but the images reflect black trim. Would it be the same cost to have the black trim on the windows and if not, what would the cost be with black trim? I have adjusted the cost to have the exterior of the windows black.
- d. It is listed as bottom venting but the design does not show the lines on the windows for how a vented bottom window would look. Could the design be updated to reflect how this would look aesthetically? The venting windows are now at the top and they would be an awning window that tips in which is very common in century homes.
- 2. Regarding the white "column" sections at the front of the building, they wanted to confirm what material would be used? In the design it looks like it is the same material as what is currently on the front of the building, would the same materials be used for those white tile portion of the front of the building? The material to be used on the white column section of the building is a product called Arris tile and comes in a smooth rock-like finish with 10 standard colours.
- 3. Will the brick colour at the bottom match the brick colour of the rest of the building? The lower brick can be matched fairly closely but not an exact match.
- 4. For the upper windows would the top half round part of each window be glass, or would it be a non-glass material? They had suggested that there may be non-glass alternatives that would still look like real windows but may be a less expensive option. Again they asked about whether the windows would have all the trim pieces making up a design on the window as is shown in the design and would it be black trim? The top half of the window would be glass.

Have a great day!

Debbie Hamilton, CHS | Financial Advisor Debbie Hamilton & Associates Ltd. | The Co-operators 555 Talbot St, St Thomas, ON, NSP 1C5 Tel: 519-633-3600 | Fax: 519-633-5347

1-19 King St, Aylmer, ON, N5H 1Z9 Tel: 519-765-3636 | Fax: 519-765-3606

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QUOTE



45 Yarmouth Rd St. Thomas, ON N5P 3Z8 Phone 519 637-1536 Fax 519 637-3627 www.jocontracting.ca

CONTRACT #5222B DATE: OCTOBER 17, 2017



Cooperators CLIENT 555 Talbot St St. Thomas, ON 519-633-3600 Attn: Debbie Hamilton

RENOVATE 22' WIDE EXTERIOR STORE FRONT

PHASE #1 Demolition:

- Obtain a permit to shut down sidewalk ٠
- Set up scaffolding
- Remove & dispose of: .
 - ο Upper siding, approximately 2' 8" x 22' plus upper and lower flashing
 - Two front doors ο
 - o
 - One front show room window Ceramic wall tile approximately, 140 SF ο
 - Supply & install one store front window, as drawings show
 - 8' x 6' ο
 - Renovate opening to proposed size
 - Brick mould
 - **Mullians**
 - Venting transoms across top, fixed bottom (three sections)
 - Low E and argon gas
 - Paint grade interior trim
- White in and black out
- Supply & install office front door
 - 6'8" x 8'6" 0
 - Door frame and side light and transom
 - Passage knob
 - . Dead bolt
 - Budget of \$3500.00 included for door selection
 - Supply & install new apartment front door:
 - 3' 2" x 8' 6" ο
 - Door, frame and transom
 - Passage knob
 - Dead bolt
 - Frame
 - Budget of \$3500.00 included for door selection

Finishes:

- Supply & install 3' high thin brick, mesh base and sills approximately 69 SF on wall ٠
- ٠ Supply & install arris tile approximately 210 SF on wall and ceiling
- Supply & install specified siding from proposed brick sill to the underside of the proposed upper windows, 2' 8" H x 22' W area with a budget of \$5.00/SF on materials
- Supply & install all necessary flashings
- Install four goose neck lights supplied by Owner Install new sign, supplied by Owner

QUOTE: \$33 393.91 plus HST

Doors & Windows	
 Remove & dispose of three upper windows 	
 Supply & install three upper windows: 4' × 6' 4' × 6' 	
o 6' x 7'	
 Mirrored glass top on three upper half rounds ½ round tops (fixed and mirrored) Brick mould 	
 Mullians Rectangular low window in a single clider, on short 	
 Rectangular low window is a single slider, as show Low E and argon gas 	vn
Paint grade interior trim	
 White in and black out 	
	QUOTE: \$17 649.80 plus HS
-Jay Okkerse Contracting is fully insured – WSIB & Liability~	QUOTE: \$17 649.80 plus HS
	QUOTE: \$17 649.80 plus HS
 This estimate is for completing the job as directed above and in the most efficient manner possible. Work completed after hours or work completed in phases are subject to additional charges unless specified on quote. 	QUOTE: \$17 649.80 plus HS
 This estimate is for completing the job as directed above and in the most efficient manner possible. Work completed after hours or work completed in phases are subject to additional charges unless specified on quote. This quote is based on our evaluation and does not include material price increases or additional labour and materials that may be 	PROPOSED BY:
 This estimate is for completing the job as directed above and in the most efficient manner possible. Work completed after hours or work completed in phases are subject to additional charges unless specified on quote. This quote is based on our evaluation and does not include material price increases or additional labour and materials that may be required should unforeseen problems or adverse weather conditions arise after the work has started. 	
 most efficient manner possible. Work completed after hours or work completed in phases are subject to additional charges unless specified on quote. This quote is based on our evaluation and does not include material price increases or additional labour and materials that may be required should unforeseen problems or adverse weather conditions arise after the work has started. Any additional work requested and completed beyond the scope of this 	PROPOSED BY:
 ERMS UPON ACCEPTANCE OF QUOTE: This estimate is for completing the job as directed above and in the most efficient manner possible. Work completed after hours or work completed in phases are subject to additional charges unless specified on quote. This quote is based on our evaluation and does not include material price increases or additional labour and materials that may be required should unforeseen problems or adverse weather conditions arise after the work has started. 	PROPOSED BY:

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			50,643,061	275	TOTALS				
		40,000	200,000		Residential	37 St. Catharine	2530951 Ont Ltd	160-7 LOZ	
					Facade	277 283 Talbot	KRQ Enterprise	2017-090	1
		50,000	286,500	8	Residential	277 283 Talbot	KRQ Enterprise	2017-090	1
	and a second	35,000	360,000	2	Residential	40 Alma Street	Habitat for Humanity	2017-089	1
	70,000	35,000	400,000	7	Residential	561 Talbot	12247171 Ont Ltd	62 Z017-088	1 -
	10,000	5,000	100,000		Residential	488 Talbot	Dean Lewis		Ι.
		7,500	46,300		Facade	429 - 431 Talbot	Mugford Shoes	60 2016-086	1
anter Brazen ten tenfer i									1
Removed Project not moving forward	Removed	40.000	800,000	10			Trads	59 2015-085	T
		1,065,780	35,000,000	120			Seasons	58 2015-084	1
	Complete	10,000	73,000		Facade	581 Talbot	Hamilton Ward Cathers	57 2015-083	1
	30,000	15,000	180,000	ω	Residential				1
	20,000	10,000	100,000		Facade	633 Talbot	Vemon Martin	280-5102 00	1
	Complete	10,000	25,000		Facade	244 /12 - 248 Talbot			T
	Complete	7,500	26,000	-	Facade		Kenee Carpenter - Jennings Furniture		T
		5,000			Residential	364 Talbot	Uale and Christie Brown		7
Application cancelled / replaced	20,000	0	58,600	2	Residential	560 Talbot	Antoine's Furniture	52 2014-078	1
	Complete	23,248	300,000		DC	900 Talbot	Prespa Homes	51 2014-077	1
Project not moving forward	ļ	5 			Facade	595 Talbot	Ramdat Ramnaresh	50 2013-076	1
	20,000 Complete	7,500	120,000		Facade	561-567 Talbot	Robert Harris	49 2013-075	1
	13,250 Complete	7,500	27,500		Facade	632-634 Talbot	K&K Locksmith	48 2012-074	į.
	Complete	2,064	4,000		Facade	377 Talbot	R.J. Kim-Kay (Terry Heisler)	47 2012-073	1
	5,400	5,000	11,800		Residential	75 Wellington	Justin Southern	46 2012-072	1
	Complete	3,525	460,000		Facade	181 Talbot	RAM-LP (Bob McCaig)	45 2012-071	1
Funds returned property sold		0	0		Facade	18 Princess	Princess Banquet Hall	44 2012-070	1
	-					323 Talbot	Maestro Music	43 2012-069	1
	Complete	67.500	2,400,000	29	Residential	26 Elysian	Novi Construction	42 2012-068	1
	8,000 Complete	5,000	40,000		Residential	471 Talbot	Mateja Testa		1
- 1	9,000 Complete	9,150	18,300		Facade	471 Talbot	Mateja Testa	41 2012-067	1
	Removed	40,000	400,000		Facade	15 - 19 Flora	Prespa Homes		1
	10,000	5,000	26,300		Residential	45 White	Adelee and Erik Neilsen	2011-066	1
Project not Completed	19,939 Removed	10,000	39,800		Facade	560 Talbot	Antoine's Furniture	39 2011-065	1
	Complete	5,000	50,000		Residential	655 Talbot	Canadian Mental Health		1
	14,000 Complete	10,000	28,027		Façade	114 Centre	Julie Carr / Todd Hatch	37 2010-065	1
	17,500 Complete	10,000	34,963		Façade	19 Elgin	Farm Gate Market	36 2010-064	1
Project not moving forward					Façade	10 -12 Mondamin	David Jones		1
	40,000	20,000	150,000	*	Residential				1
	20,000	10,000	40,000		Façade	341 Talbot	Paul Thomas	34 2010-062	4

Updated November 13 2017

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State Farm Insurance	North American Railway	JM Janes		Trevor Niville	I Deal Toys	Dutch Bakery	Jason and Nathan Patry	Canadian Mental Health		Klassen	Kichardsons		Mike Robbins	Novi Construction	Larry Reiger	Wallis Residential	Toth Jewellers	James and Jane Daminoff	Nathan Patry	Nathan Patry	Gillian Martin (Anselfs Trophy)	1301314 Ontario Inc. (Al Goulding)	Lindmar Holdings Inc. (Mark Hindley)	Lindmar Holdings Inc. (Mark Hindley)	Holy Angels Church (Rev. David Boutette)	Steve Jackson	Steve Jackson	Steve Jackson	Steve Jackson	Jan Van Der Veen	YWCA	Mugford	Andy Sheridan	1001512 Ontario Ltd.	1001512 Ontario Ltd.		Cosens		914204 Ontario Ltd.	Jan Van Der Veen		1 Applicant	
729 Talbot	750 Talbot	86 Talbot		616 Talbot	260 Talbot	295 Talbot	268 - 274 Talbot	659 Talbot		14 - 16 Metcalf	679 - 691 Talbot		701-703 Talbot	25 Scott	370 Talbot	395-399 Talbot	559 Talbot	23 East St.	286 Talbot St.	286 Talbot St.	648 Talbot St.	168 Curtis St.	349 Talbot St.		te) [502 Talbot St.	763-765 Talbot St	763-765 Talbot St	767 Talbot St.	767 Talbot St.	390 Talbot St.	16 Marv St.	433-435 Talbot	527 Talbot St.	570-572 Talbot St.	568 Talbot St.		445 Talbot		574-584 Talbot St.	384-390 Talbot St.	Address	Property	
Façade	Façade	Façade	Residential	Façade	Façade	Façade	Residential	Façade	Façade	Residential	Façade	Façade	Residential	Residential	Façade	Residential	Façade	Façade	Residential	Façade	Façade	Façade	Façade	Residential	Façade	Residential	Façade	Residential	Facade	Facade	Facade	Residential	Façade	Façade	Façade	Facade	Residential	Facade	Residential	Residential		Project	
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2,050	10,000	10,000.	30,000	10,000	10,000	0	0	7,500	10,000	10,500	10,000	10,000	10,000	134,920	10,000	40,000	7,500	17,680	40,000	10,000	7,500	7,500	10,000	18,000	10,000	10,000	10,000	15,000	10.000	5.000	10 000		7.500	7.500	7.500	10.000	15,000	10,000	15,868	20,000	Grant	CIP	
				20,000			80,000	_	10,500	10,000					19,500	42,500			~					18,000					20.000										30,000	40,000	Loan	CIP	-
Complete	Complete	Complete			Complete			Complete	10,500 Complete	10,000 Complete	Complete	Complete	Complete	Complete	Complete	42,500 Complete	8,400 Complete	7,500 Complete	Complete	Complete	Complete	Complete	Complete			Removed	Complete	Removed	Complete	Complete			Complete	10.000 Complete	10.000 Complete			D Complete	30,000 Complete	40,000 Complete	Complete	Project	_
		_	Added to Tax Roll	Added to Tax Roll	-	Loan paid project not completed	Filed closed no grant paid			~	~												-		-	d Project not Completed		d Project not Completed			-1.	Loan Payments in Progress				Project not Completed	Project not Completed	-					

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Updated November 13 2017

APPLICATION FORM

ST. THOMAS COMMUNITY IMPROVEMENT PLAN

FINANCIAL INCENTIVE PROGRAMS

CITY

NOV 0.7 2017

MANAGER

THE CORPORATION OF THE CITY OF

ST. THOMAS

HERITAGE TAX RELIEF PROGRAM HERITAGE DESIGN PROGRAM RESIDENTIAL CONVERSION, REHABILITATION AND INTENSIFICATION PROGRAM PROPERTY TAX INCREMENT GRANT PROGRAM FAÇADE IMPROVEMENT PROGRAM PLANNING AND BUILDING FEES PROGRAM DEVELOPMENT CHARGES REBATE PROGRAM PARKLAND DEDICATION EXEMPTION PROGRAM



1.0 INSTRUCTIONS

- If the space provided is insufficient to respond to the question, please provide additional information on a separate page, clearly maked as to the subject question, and attach to the application form
- D Please attach financial quotes, drawings or other required information as appropriate
- We recommend that the applicant keep a copy of the application form for your own records
- To ensure that the application is readable, please fill out online or print in ink
- Please ensure that the application has been signed by the property owner or authorized agent

1.1 APPLICANT AND PROPERTY INFORMATION

1.1.1 REGISTERED PROPERTY OWNER

Name:	Ze	VIN	NIL	LER.		
If Corporation	on, Signing	Officer to	contact:			
Mailing Add	ress:	25	RENN	VY CR		
City:	LONDI	2N	Province:	ON	Postal Code:	N6E-264
Telephone:	59-700	z - 6455	Facsimile:		Email:	KMILLER STREETCHT REMAIN

1.1.2 AUTHORIZED AGENT (IF ANY: SEE SECTION 4.3)

Name:				
Mailing Address:				
City:	Province:	Po	stal Code:	
Telephone:	Facsimile:	En	nail:	
1.1.3 SU	BJECT PROPERTY			
Civic Address:	16 PEARL	- ST		
Legal Description (Lo	t and Plan No., Assessme	ent Roll No.):		
PL 15 6	PTLT Y PL 1	94 pt LT	3 WIS PEARL	SIS Cur
Brief Description of C	Urrent Use PRIOR HAIR S	ALON)		ł

Financial Incentives Programs - Application Form Revised - October 2016

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FINANCIAL INCENTIVE PROGRAMS

SUBJECT	PROPERTY	CONTINUED	(1.1.3)
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Are property taxes for the subject property in arrears?	Yes	No 📘
Are there any outstanding orders registered against the subject property?	Yes	No 🔽
Are there any outstanding violations under the Fire Code?	Yes	No 🔽
Have grants previously been received from the City for subject property?	Yes 🔲	No 🔽
Please describe including total amounts of grants:		
Estimated Current Market Value of Property: \$ \$ 208,00-	0	
Please indicate source of estimate: Just PurclAsen For	1208,00	0

1.2 AUTHORIZATION

If this application is to be signed by an agent or solicitor on behalf of the property owner/s, complete this section. This section should be signed by the property owners/or if held by a corporation, by a signing officer (name and position) of the corporation.

I hereby authorize ______as agent, to act on my behalf in regard to the above application. I acknowledge that the authorized agent is to receive all correspondence and information pertaining to this application on my behalf.

Dated at Lowon		this 25^{tr}	day of	SEPTEM	BER	227
Signature of Owner/s	5	<u> </u>				
Signature of Witness	2					
(Print Name),	KEUM	MICLER	a duly auth	orized Commissio	ner of Oatl	hs

1.3 APPLICANT AGREEMENT

I/We hearby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at	Long	w or	this	2017	_day of	SEPTEMBER	2017
Signature (of Owner/s				_		
Signature	of Witness				_		
(Print Nam	e),	KEUW	MIC	LER	_a duly auth	orized Commissioner o	f Oaths
1.4 PRO	GRAM CH	ECK LIST					
Please pla	ce a check	next to the progra	ims that y	ou are applyi	ng for:		
		Heritage Tax Re	lief Progra	m			
		Heritage Design	Program				
		Planning & Build	ing Fees F	Program			
		Development Ch	arges Pro	gram			
		Parkland Dedica	tion Exem	ption Program	n		
	\square	Residential Conv	ersion, Re	ehabilitation a	nd Intensifica	tion Program	
		Façade Improve	ment Prog	ram			
		Property Tax Inc	rement Eq	luivalent Grai	nt Program		
122		1029					

Fill out the following sections with regard to the programs you are applying for.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

-CONVERSION OF 16 PEARL ST HAIR SACON INTO 3 -UNIS. (TRIPLEN)
MAIN FLOOR'S & BEDROOM UNIT
2ND FLOOR " BEDROOM UNIT + PARILAC 3
3RD FLOOR & 1 BEDROOM UNIT.
& ALC UNITS TO HAVE SEPERATE
ENTRANCE #

If additional space is required, please attach the additional information on a separate sheet.

1.6 PLEASE PROVIDE A DESCRIPTION OF FAÇADE IMPROVEMENTS (IF APPLYING FOR FAÇADE IMPROVEMENT PROGRAM) Note: improvements must follow urban design guidelines as established by the Urban Design Study.

If additional space is required, please attach the additional information on a separate sheet.

FINANCIAL INCENTIVE PROGRAMS

1.7	GENERAL APPLICATION QUESTIONS		
1.	Is your property a designated heritage building?	Yes	No
2.	Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value?	Yes	No
3.	What is the current status of the building?		
	Occupied		
	Underutilized		
	If other, please explain:		
4.	Are you converting and/or rehabilitating this space?	Yes 🔄	No
	If yes: a) are you creating new residential units?	Yes 🗹	No
	b) are you rehabilitating vacant residential units?	Yes	No
	c) are you bringing occupied residential units up to code?	Yes	No
5.	Are you intensifying and/or redeveloping this space?	Yes 🗹	No
	If yes a) are you creating new residential units through the addition of new building space?	Yes	No 📘
	b) are you demolishing existing building(s) to create a new building with new residential units?	Yes	No 🖉
	How many residential units are being added?]	
6.	Are you adding commercial space?	Yes	No C
	If yes, please provide the square footage]	
7.	Please specify the finanicial incentives you are interested in if applying for	or the following pr	ograms:
	a) Residential Conversion, Rehabilitation and Intensification Prog Grant Loan D Both	Iram	
	b) Façade Improvement Program Grant Loan Both Both		
	l Incentives Programs - Application Form - October 2016		

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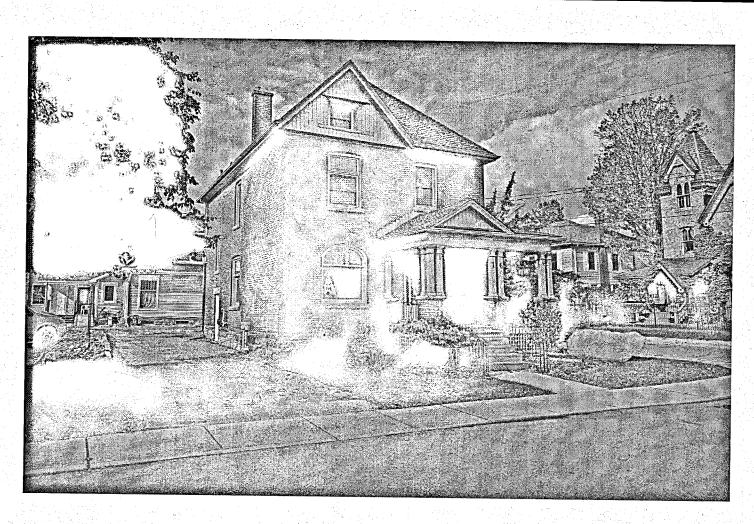
8. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (*Note: Side and rear façade improvements are eligible only if the public view of the building is significant*)

	Front Façade	
	Side Façade	
	Rear Façade	
9.	Is your property located in one of the CIP Areas?	Yes No
	If yes, please specifiy area. DwwTowA	AREA
10.	Estimated Total Construction Cost for the Residential project:	\$ 80,000
11.	Estimated Total Construction Cost for Façade Improvement:	\$
12.	Estimated Total Design and Other Professional Costs:	\$ 3,000

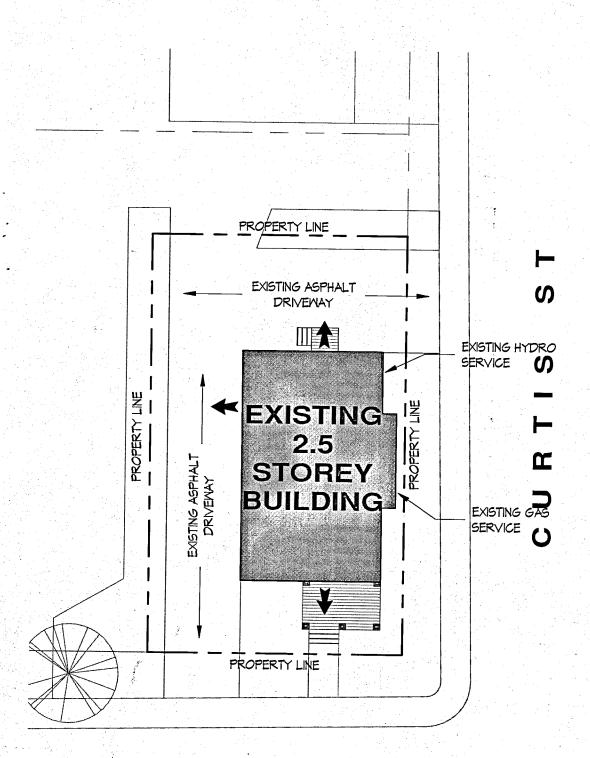
(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the Building Permit Value for Construction costs and actual receipts for Design and Professional costs).

13. Have you made an application for a Building Permit pertaining to the work proposed?

Yes	No 🛄	_



EXISTING CONDITIONS



PEARL STREET



10:12:46 AM

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			CITY			
			NOV 07 2017			
CODE ANALYSIS	2012 ONTARIO BUILDING CODE			O.B.C	O.B.C. DIV. B REFERENCES	
PROJECT DESCRIPTION:			□ PART 11	PART 3		
	ADDITION ALTERATION CHANGE OF U	SE	11.1 TO 11.4	A.1.1.2	A.1.1.2 & 9.10.1.3	
MAJOR OCCUPANCY:	GROUP C RESIDENTIAL	. SUITES		3.1.2.1.(1)	9.10.2	
BUILDING AREA: (m ²)	EXIST: 119.6 sq.m.	NEW:	TOTAL: 119.6 sq.m.	A.1.4.1.2	A.1.4.1.2	
GROSS AREA: (m²)	1st FL: 119.6 sq.m. MEZZ:	1st FL: MEZZ:	TOTAL: 119.6 sq.m.	A.1.4.1.2	A.1.4.1.2 ¥	
NO. OF STOREYS:	ABOVE GRADE: 2.5	BELOW GRADE: 0		A.1.4.1.2 & 3.2.1.1	A.1.4.1.2 & 9.10.4	
BUILDINIG HEIGHT:	EXISTING: 8 m.	NEW:	<u> </u>	3.2.1.1	9.10.20	
NO. OF STREETS:	TWO		<u> </u>	3.2.2.10 & 3.2.5	9.10.20	
BUILDING CLASSIFICATION:	GROUP C	(PREVIOUSLY GROUP	D - PERSON SERVICE)	3.2.2.20 TO .83	9.10.2	
SPRINKLER SYSTEM PROPOSED:	NOT REQUIRED ENTIRE BUILDI BASEMENT ON IN LIEU OF ROC SPECIFIC LOCA	NG ILY DF RATING		3.2.1.5 3.2.2.17 3.2.2.20 TO .83 3.2.5.13	9.10.8	
STANDPIPE REQ'D:	NO 🗌	YES		3.2.9	N/A	
IRE ALARM REQ'D:	NO 🗌	YES		3.2.4	9.10.18	
ADEQUATE WATER SERVICE:		YES		3.2.5.7	N/A	
IIGH BUILDING	NO D	YES		3.2.6	N/A	
PERMITTED CONSTRUCTION:		CONSTRUCTION TIBLE CONSTRUCTION		3.2.2.20 TO .83	9.10.6	
ACTUAL CONSTRUCTION:	COMBUSTIBLE NON-COMBUST BOTH	CONSTRUCTION IBLE CONSTRUCTION		3.2.2.20 TO .83	9.10.6	
/EZZANINE AREA:(m²)		······································		2.0.1.1.(0) (0)	0.10.1.1	
DCCUPANT LOAD:	OCCUPANT LOAD BASED O	N m²/PERSON	DESIGN OF BUILDING	<u>3.2.1.1.(3)-(8)</u> 3.1.17	9.10.4.1	
BASEMENT UNIT 1 UNIT 2 UNIT 3	= 0 OCCUPANTS = 2 OCCUPANTS = 4 OCCUPANTS = 2 OCCUPANTS			0.1.17	9.9.1.3	
LUMBING FIXTURES:		URES		074	0.04	
	LOAD MALE		MALE	3.7.4	9.31	
UNIT 1 UNIT 2 UNIT 3	= FIX	TURES PER 9.31.4 TURES PER 9.31.4 TURES PER 9.31.4				
	- F /					
ARRIER FREE DESIGN:		YES AS EVICTING		20		
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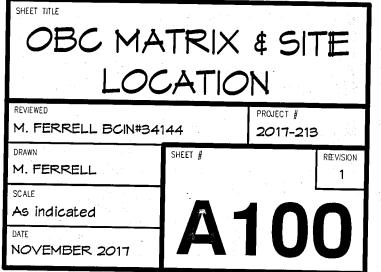
EXISTING FIRE HYDRANT WITHIN 45M OF BUILDING

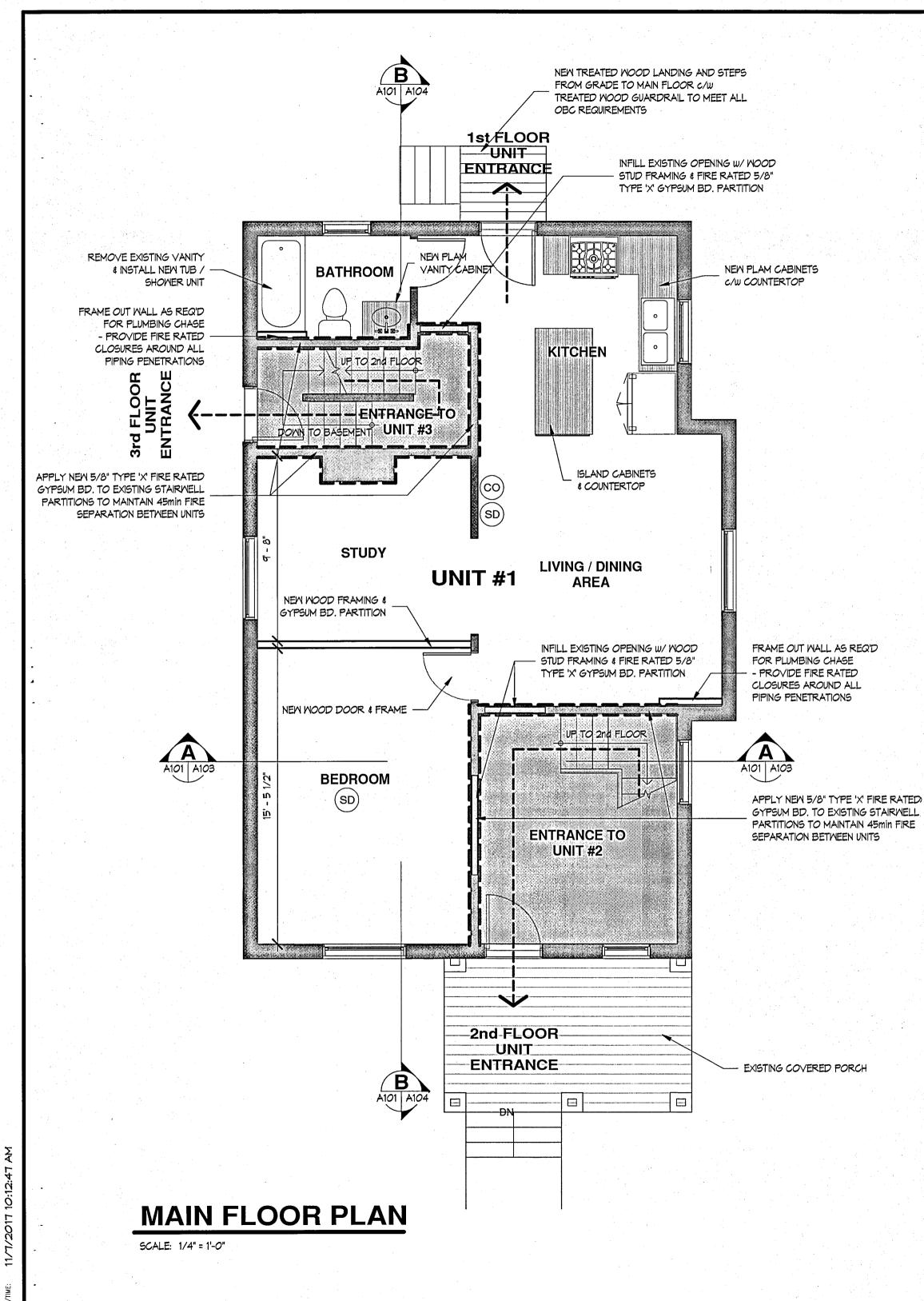
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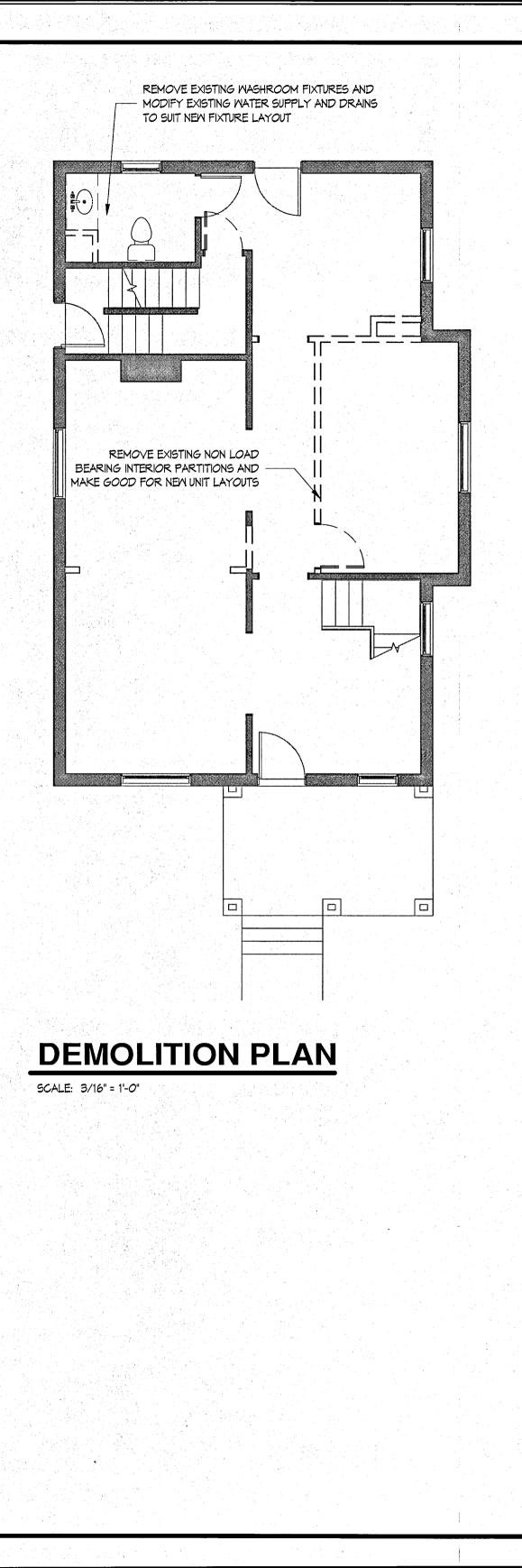
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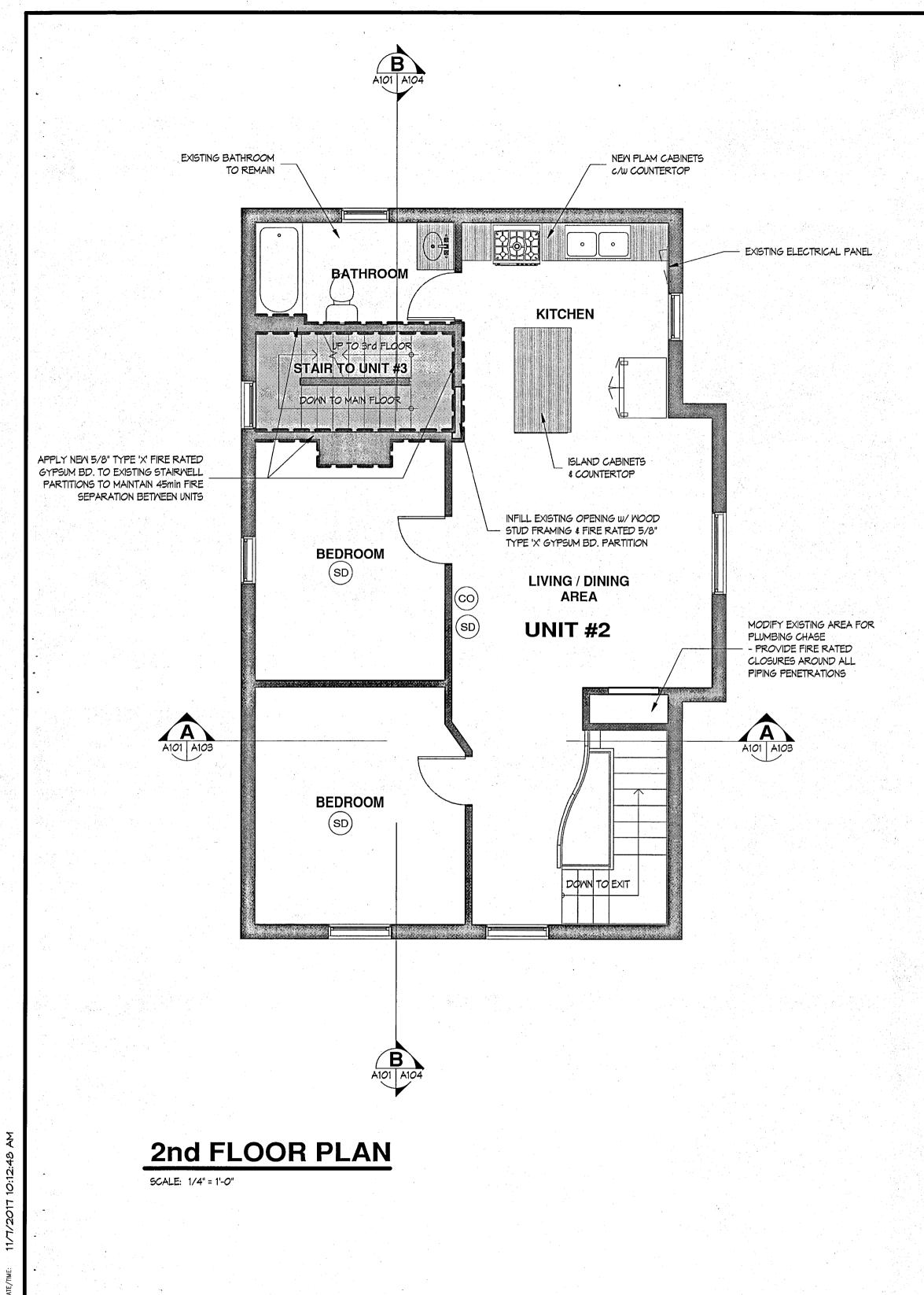
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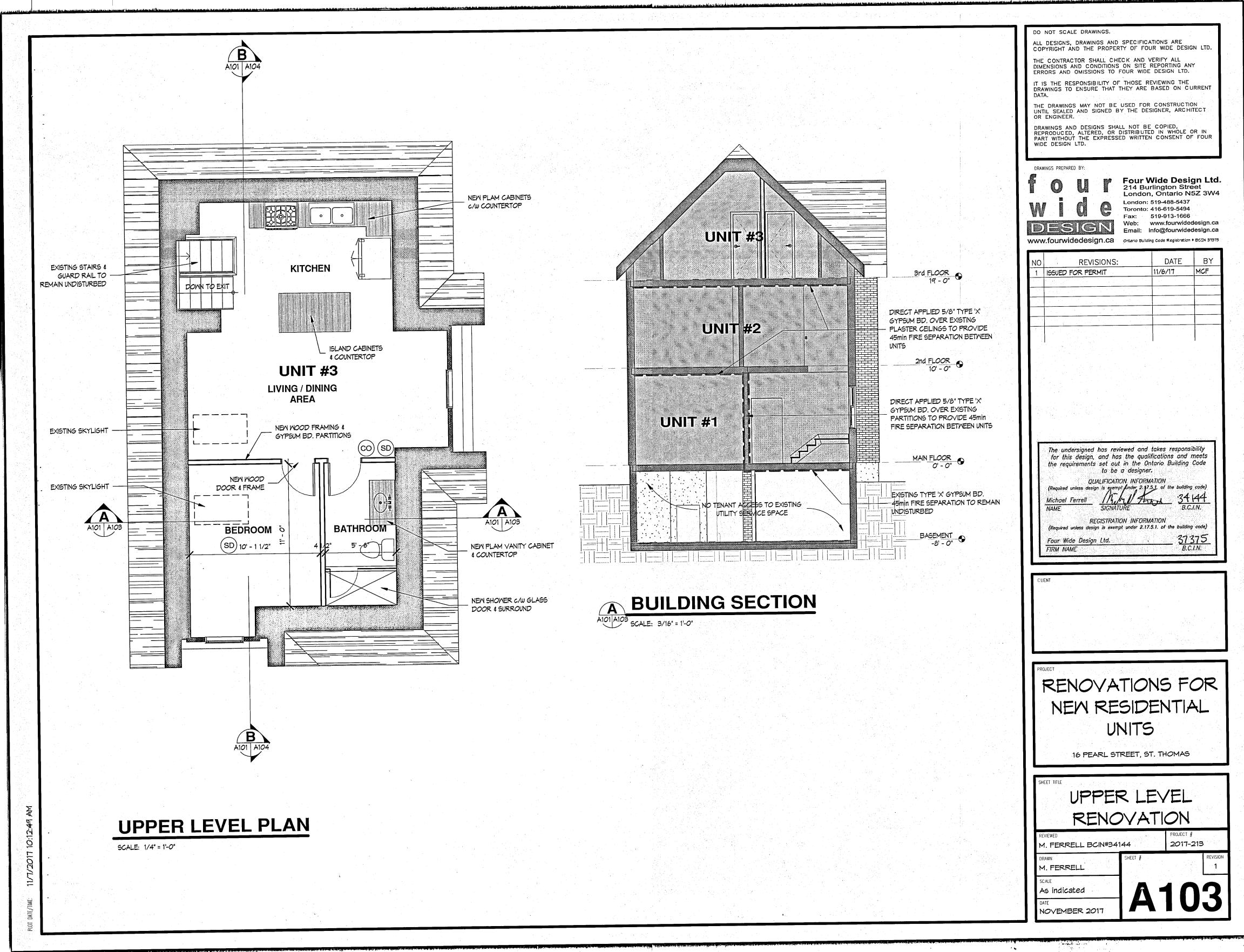


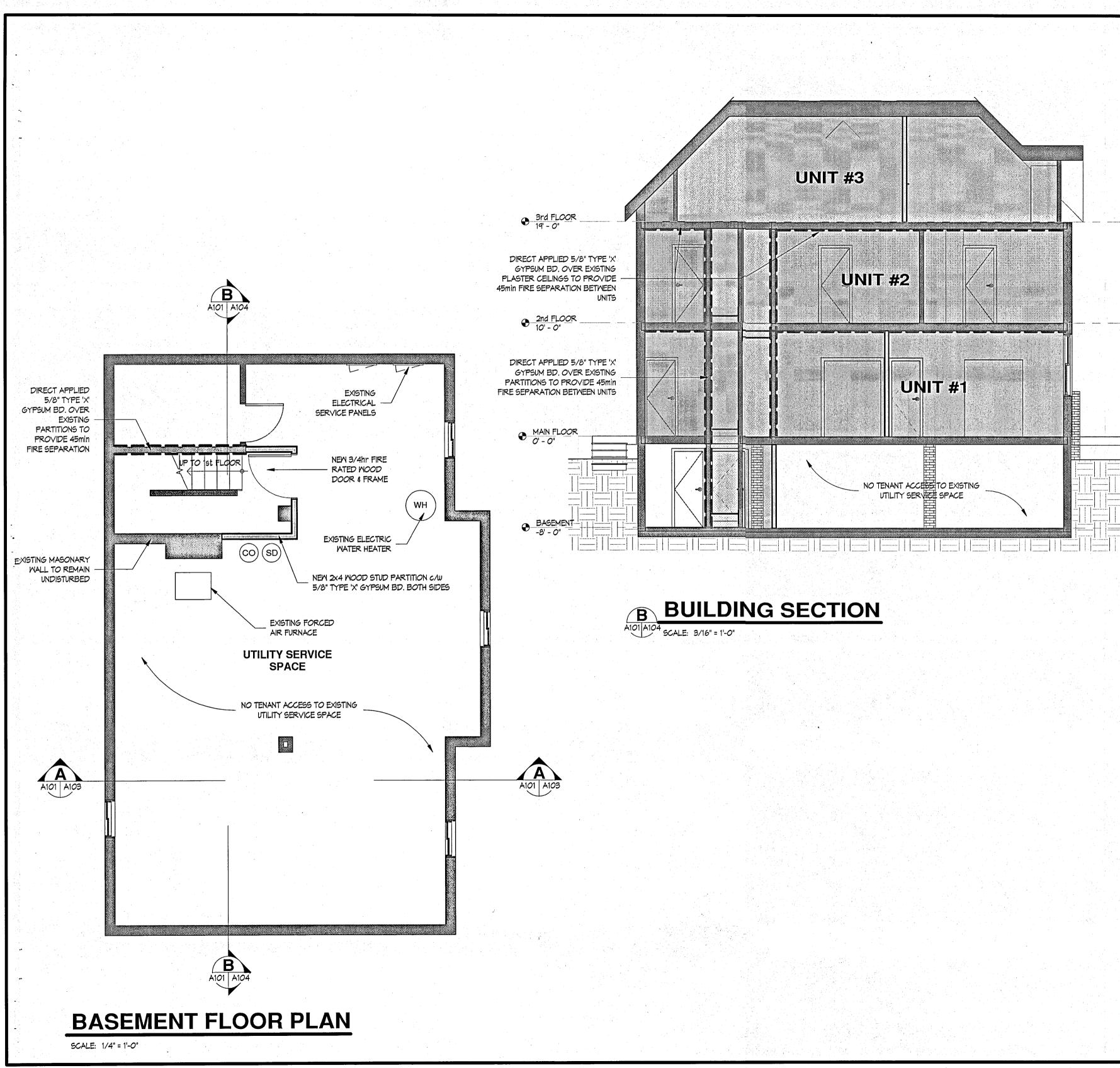
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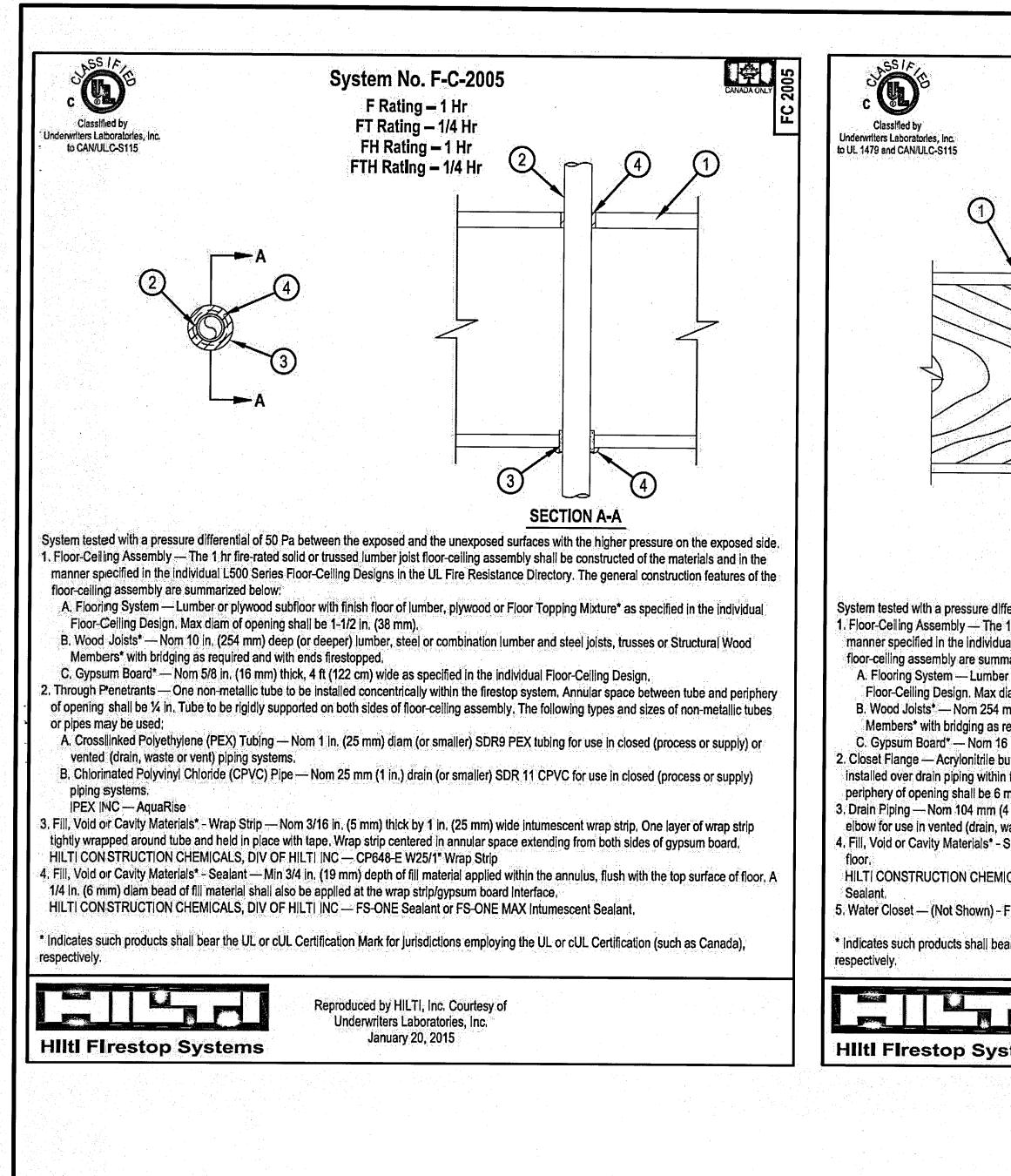




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erential of 50 Pa between the exposed and the unexposed surfaces with the higher pressure on the exposed side. I hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be constructed of the materials and in the al L500 Series Floor-Ceiling Designs in the UL Fire Resistance Directory. The general construction features of the marized below: or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture* as specified in the individual am of opening shall be 127 mm (5 in.). mm (10 in.) deep (or deeper) lumber, steel or combination lumber and steel joists, trusses or Structural Wood equired and with ends firestopped. mm (5/8 in.) thick, 1.22 m (4 ft) wide as specified in the individual Floor-Ceiling Design. Itadiene styrene (ABIS) or polyvinyl chloride (PVC) closet stub sized to accommodate drain pipe. Closet flange floor opening with flange secured to plywood floor with steel screws. Annular space between closet flange and nm (1/4 in.). in.) diam Schedule 40 acrylonitrile butadiene styrene (ABS) or polyvinyl chloride (PVC) drain pipe and 90 degree raste or vent) piping systems. Pipe installed concentrically within firestop system. Sealant — Min 19 mm (3/4 in.) thickness of fill material applied within the annulus, flush with the bottom surface of CALS, DIV OF HILTI INC — CP 606 Flexible Firestop Sealant or FS-ONE Sealant or FS-ONE MAX Intumescent	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code) Michael Ferrell NAME SIGNATURE REGISTRATION INFORMATION (Required unless design is exempt under 2.17.5.1 of the building code) Michael Ferrell NAME SIGNATURE 34.144 B.C.I.N. REGISTRATION INFORMATION (Required unless design is exempt under 2.17.5.1 of the building code) Four Wide Design Ltd. 37.37.5 FIRM NAME B.C.I.N.
Floor mounted vitreous china water closet. In the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc.	CLIENT
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