

THE CORPORATION OF THE CITY OF ST. THOMAS
COMMUNITY IMPROVEMENT PROGRAM EVALUATION COMMITTEE

May 26, 2017 8:30 A.M. CITY HALL ROOM 204

1. Confirmation of Minutes : May 19, 2017
2. Disclosure of Interest
3. Project Applications
 - a) Grant McDonald – 37 St. Catharine Street (Residential)
4. New Business
5. Adjournment

APPLICATION FORM

ST. THOMAS COMMUNITY IMPROVEMENT PLAN FINANCIAL INCENTIVE PROGRAMS



THE CORPORATION OF THE CITY OF
ST. THOMAS

HERITAGE TAX RELIEF PROGRAM

HERITAGE DESIGN PROGRAM

RESIDENTIAL CONVERSION, REHABILITATION AND INTENSIFICATION PROGRAM

PROPERTY TAX INCREMENT GRANT PROGRAM

FAÇADE IMPROVEMENT PROGRAM

PLANNING AND BUILDING FEES PROGRAM

DEVELOPMENT CHARGES REBATE PROGRAM

PARKLAND DEDICATION EXEMPTION PROGRAM



FINANCIAL INCENTIVES PROGRAM
ST. THOMAS COMMUNITY IMPROVEMENT PLAN
SECTION 1.0 - GENERAL APPLICATION FORM

1.0 INSTRUCTIONS

- If the space provided is insufficient to respond to the question, please provide additional information on a separate page, clearly marked as to the subject question, and attach to the application form
- Please attach financial quotes, drawings or other required information as appropriate
- We recommend that the applicant keep a copy of the application form for your own records
- To ensure that the application is readable, please fill out online or print in ink
- Please ensure that the application has been signed by the property owner or authorized agent

1.1 APPLICANT AND PROPERTY INFORMATION

1.1.1 REGISTERED PROPERTY OWNER

Name:					
If Corporation, Signing Officer to contact:					
Mailing Address:					
City:		Province:		Postal Code:	
Telephone:		Facsimile:		Email:	

1.1.2 AUTHORIZED AGENT (IF ANY: SEE SECTION 4.3)

Name:					
Mailing Address:					
City:		Province:		Postal Code:	
Telephone:		Facsimile:		Email:	

1.1.3 SUBJECT PROPERTY

Civic Address:					
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Legal Description (Lot and Plan No., Assessment Roll No.):					

Brief Description of Current Use:					

SUBJECT PROPERTY CONTINUED (1.1.3)

Are property taxes for the subject property in arrears? Yes _____ No _____

Are there any outstanding orders registered against the subject property? Yes _____ No _____

Are there any outstanding violations under the Fire Code? Yes _____ No _____

Have grants previously been received from the City for subject property? Yes _____ No _____

Please describe including total amounts of grants: _____

Estimated Current Market Value of Property: \$ _____

Please indicate source of estimate: _____

1.2 AUTHORIZATION

If this application is to be signed by an agent or solicitor on behalf of the property owner/s, complete this section. This section should be signed by the property owners/or if held by a corporation, by a signing officer (name and position) of the corporation.

I hereby authorize _____ as agent, to act on my behalf in regard to the above application. I acknowledge that the authorized agent is to receive all correspondence and information pertaining to this application on my behalf.

Dated at _____ this _____ day of _____,

Signature of Owner/s  _____

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at _____ this _____ day of _____,

Signature of Owner/s  _____

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- Heritage Tax Relief Program
- Heritage Design Program
- Planning & Building Fees Program
- Development Charges Program
- Parkland Dedication Exemption Program
- Residential Conversion, Rehabilitation and Intensification Program
- Façade Improvement Program
- Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

[Empty box for description of proposed residential improvement project]

If additional space is required, please attach the additional information on a separate sheet.

1.6 PLEASE PROVIDE A DESCRIPTION OF FAÇADE IMPROVEMENTS (IF APPLYING FOR FAÇADE IMPROVEMENT PROGRAM) *Note: improvements must follow urban design guidelines as established by the Urban Design Study.*

If additional space is required, please attach the additional information on a separate sheet.

1.7 GENERAL APPLICATION QUESTIONS

1. Is your property a designated heritage building? Yes ___ No ___

2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes ___ No ___

3. What is the current status of the building?
___ Vacant
___ Occupied
___ Underutilized

If other, please explain: []

4. Are you converting and/or rehabilitating this space? Yes ___ No ___

If yes: a) are you creating new residential units? Yes ___ No ___

b) are you rehabilitating vacant residential units? Yes ___ No ___

c) are you bringing occupied residential units up to code? Yes ___ No ___

5. Are you intensifying and/or redeveloping this space? Yes ___ No ___

If yes a) are you creating new residential units through the addition of new building space? Yes ___ No ___

b) are you demolishing existing building(s) to create a new building with new residential units? Yes ___ No ___

How many residential units are being added? []

6. Are you adding commercial space? Yes ___ No ___

If yes, please provide the square footage []

7. Please specify the financial incentives you are interested in if applying for the following programs:

a) Residential Conversion, Rehabilitation and Intensification Program
Grant ___ Loan ___ Both ___

b) Façade Improvement Program
Grant ___ Loan ___ Both ___

FINANCIAL INCENTIVE PROGRAMS

8. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (*Note: Side and rear façade improvements are eligible only if the public view of the building is significant*)

Front Façade _____

Side Façade _____

Rear Façade _____

9. Is your property located in one of the CIP Areas? Yes _____ No _____

If yes, please specify area.

10. Estimated Total Construction Cost for the Residential project: \$

11. Estimated Total Construction Cost for Façade Improvement: \$

12. Estimated Total Design and Other Professional Costs: \$

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the Building Permit Value for Construction costs and actual receipts for Design and Professional costs).

13. Have you made an application for a Building Permit pertaining to the work proposed? Yes _____ No _____

1.1.3 SUBJECT PROPERTY

Civic Address:

37 St. Catharine Street, St. Thomas, ON, N5P 2V7

Legal Description (Lot and Plan No., Assessment Roll No.):

PLAN 43 PART LOT 8

Brief Description of Current Use:

Vacant 4-Plex, currently under construction. Has been vacant for 2+ years. G3 Zoning. All proper permits are in place to finalize the existing four (4) units. Opportunity for intensification, developing the basement and attic into two (2) additional residential units.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

Proposal for Rehabilitation & Intensification at 37 St. Catharine Street, St. Thomas

Phase 1: Rehabilitation (IN PROGRESS)

- This subject property, located downtown St. Thomas, has been vacant and gutted for approximately 2-3 years, with renovations at a complete stand-still. I have purchased the property from the previous owner in early 2017 to complete the existing 4-plex renovation.
- Project Estimate: \$110,000
- Permits for the 4-plex renovation have successfully been transferred (Permit # 2017-87, Transfer #14-007), and I have been working closely with Chris Peck, Jamie Yolkowskie, and Sandy Lale to ensure the proper steps are taken to keep this project moving forward, while adhering to the approved designs (See Exhibit A) from the previous owner.
- Currently, there are two (2) residential units per floor. All four (4) units have been reframed, wired, ducted, and the plumbing is roughed in.
- With the assistance from the rehabilitation component of the Building Revitalization Program, I'm looking forward to the next stages of this project, including; updating water mains/meters, spray-foam insulation, roof repairs, new windows/doors, drywall, paint, fixtures and finishes.

PHASE 2: Intensification

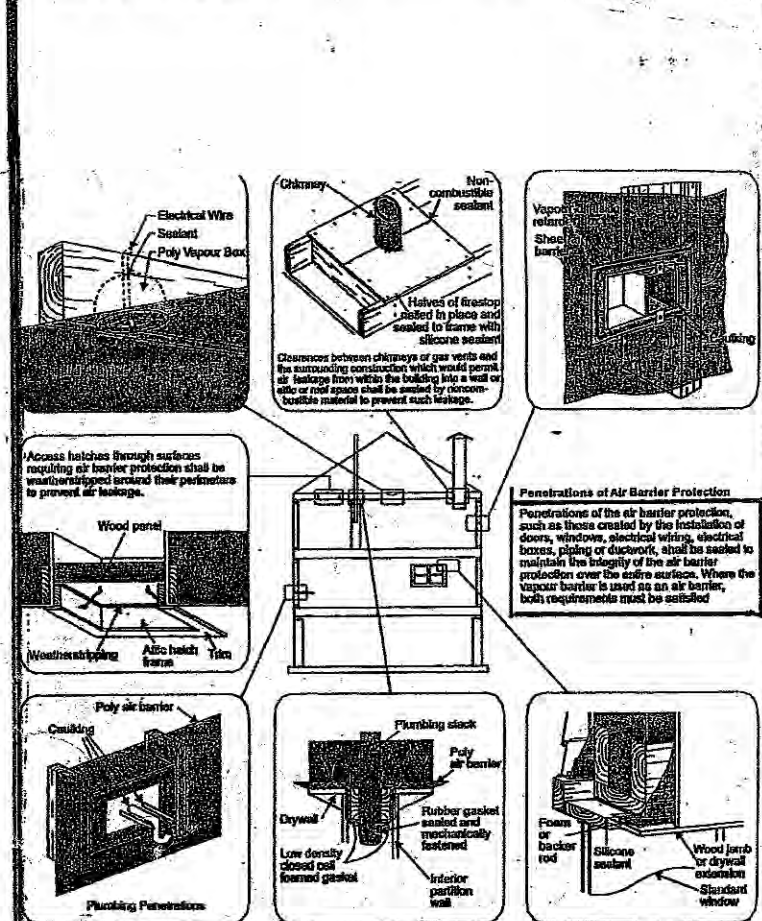
- In addition to the existing 4-units, there is an opportunity to add two (2) additional units to the existing footprint of the property, by developing the basement and attic into usable living space.
- Project Estimate: \$100,000
- Permits have not yet been applied for.
- Preliminary designs have just been completed by the engineering firm DC Buck Engineering (See Exhibit B), to assess feasibility based on building layout and building code requirements. The attic space would consist of one (1) bachelor apartment. Both front & back dormers will need to be resized, along with the addition of two dormers on each side of the roof to allow sufficient square footage and head room. Modifications to the joists will also be required to withstand additional weight requirements.
- The basement space will consist of one (1) one-bedroom apartment. The framing on the exterior walls of the basement has been framed in by the previous owner. Alterations to a support beam will be required in order to meet ceiling height requirements.
- With the assistance from the intensification component of the Building Revitalization Program, I'm looking forward to the next stages of this project, including; permitting, finalizing the design, framing/plumbing/electrical/HVAC rough-ins, proper drainage, insulation, new dormers, windows/doors, drywall, paint, fixtures and finishes.

Thank you very much for your consideration of this project. Together, I hope that we can continue to revitalize the downtown area through the increased supply of safe, clean, and desirable rental apartments.

GENERAL NOTES
 DRAWINGS ARE IN PART DIAGRAMATIC AND ARE NOT INTENDED TO CONVEY THE EXACT SCOPE OF WORK OR EXACT SCOPE OF ALL CONDITIONS. CONTRACTOR AND ALL SUB-TRADES ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS, MATERIALS, CLEARANCES, GRADING AND DIMENSIONS AND INCLUDE ALL WORK REQUIRED TO COMPLETE THE PROJECT AS INTENDED. THE GENERAL CONTRACTOR, OWNER OR PROJECT MANAGER IS TO CO-ORDINATE ALL TRADES TO ENSURE COMPATIBILITY WITH EACH OTHER AND TO MINIMIZE CONFLICTS. SHORE ALL LOAD BEARING JOISTS, BEAMS AND TRUSSES.

WOOD FRAMING NOTES:
 WOOD FRAMING SHALL CONFORM TO SECTION 523 OF THE ONTARIO BUILDING CODE 2006. FRAMING LUMBER SHALL BE S.P.F. GROUP 17 NO. 1 GRADE. FASTEN LUMBER TO FLOOR JOISTS WITH 2 ROWS OF 3" NAILS AT 16" O.C. INSTALL FLOOR JOISTS IN ACCORDANCE WITH SECTION 523 OF THE O.B.C. INSTALL STRAPPING AND BRIDGING IN ACCORDANCE WITH SECTION 523 OF THE O.B.C. HRCO - LAM BEAMS AS MANUFACTURED BY GARD-NAL CANADA INC. UNLESS NOTED, USE FASTEN NAILS TO FLOOR JOISTS TOGETHER WITH MANUFACTURER'S INSTRUCTIONS.

REPORT
 ANY DISCREPANCIES. ALL WORK TO 2012 O.B.C. OBTAIN ALL MUNICIPAL PERMITS AND REQUIRED INSPECTIONS FROM BUILDING INSPECTOR. VERIFY ALL FOUNDATION DIMENSIONS PRIOR TO ANY EXCAVATION AND OBTAIN INSPECTOR'S REVIEW BEFORE POURING FOOTINGS.

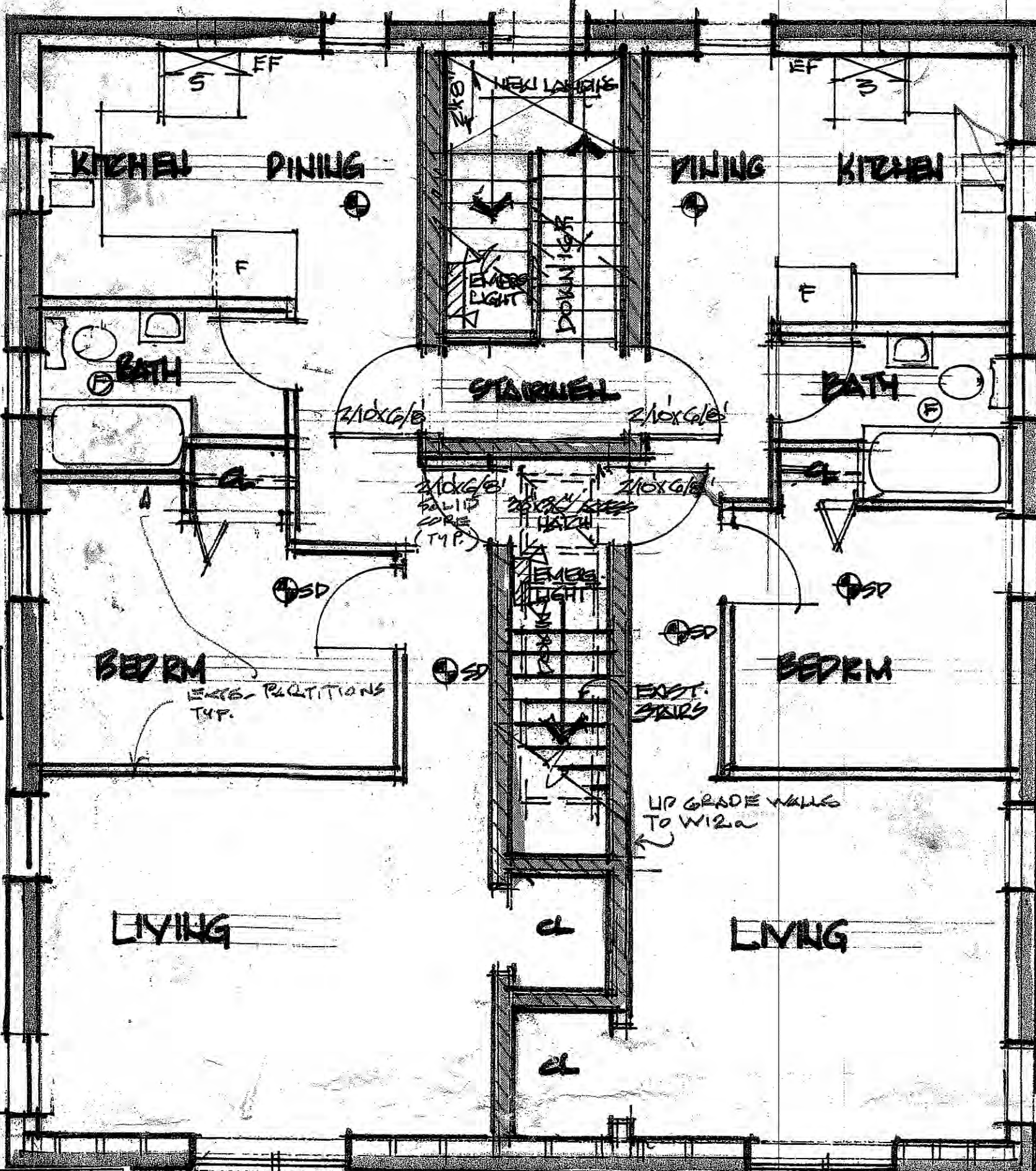


AIR BARRIER DETAILS
 SEE NOTES THIS DRAWING.
FLOOR
 45 MIN. FLOOR SEPARATION

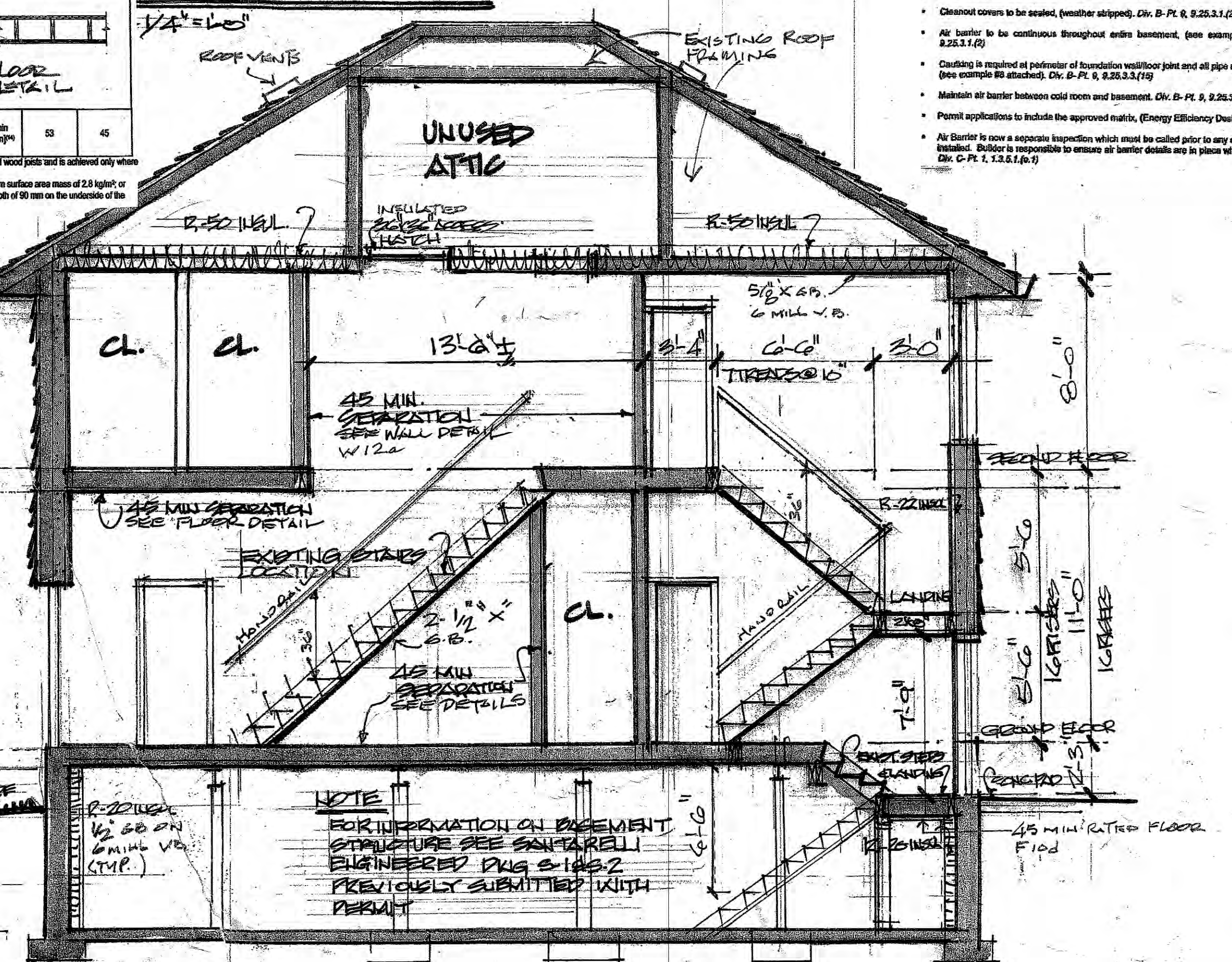
Table 2 (Cont'd)
 Fire and Sound Resistance of Floors, Ceilings and Walls

Type of Assembly	Assembly Number	Description	Fire-Resistance Rating (min)	Typical Sound Transmission Class (STC)	Typical Impact Sound Reduction (I _w)
F10		one subfloor layer of 17 mm sanded plywood, or OSB or subfloor, or 17 mm tongue and groove lumber, on wood joists spaced not more than 610 mm o.c. 2x4 @ 1200 mm o.c. resilient metal channels spaced 305 mm, 406 mm or 610 mm o.c. 1 layer of gypsum board on ceiling side	30 min	53	45
F10 with		absorption material in cavity resilient metal channels spaced 610 mm o.c. 15.9 mm Type X gypsum board	30 min	53	45

(1) The fire-resistance rating value which appears in brackets only applies to assemblies with cold wood joists and is achieved only when absorptive material is used.
 (2) Where protection from rock or slag with a minimum thickness of 50 mm and a minimum surface area ratio of 5.0 kg/m² or (3) heavy applied surface finish with a minimum density of 90 kg/m³ and a minimum depth of 50 mm on the underside of the subfloor and of 50 mm on the sides of the floor joists.



2nd FLOOR PLAN
 SCALE 1/4" = 1'-0"



SECTION A-A 1/4" = 1'-0"

GENERAL NOTES

- ⊗ DENOTES SOLID SUPPORT TO FOUNDATION.
- ⊙ DENOTES SMOKE DETECTOR INTERCONNECT ALL UNITS IN THE HOME!
- ⊕ DENOTES EXHAUST FAN VENT TO EXTERIOR WITH A MIN. HORIZONTAL RUN OF 3.0 TO 4 FT.

FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPENING WINDOW WITH AN UNOBSTRUCTED AREA OF 5.8 sq.ft. (MIN) WITH NO DIMENSION LESS THAN 5".

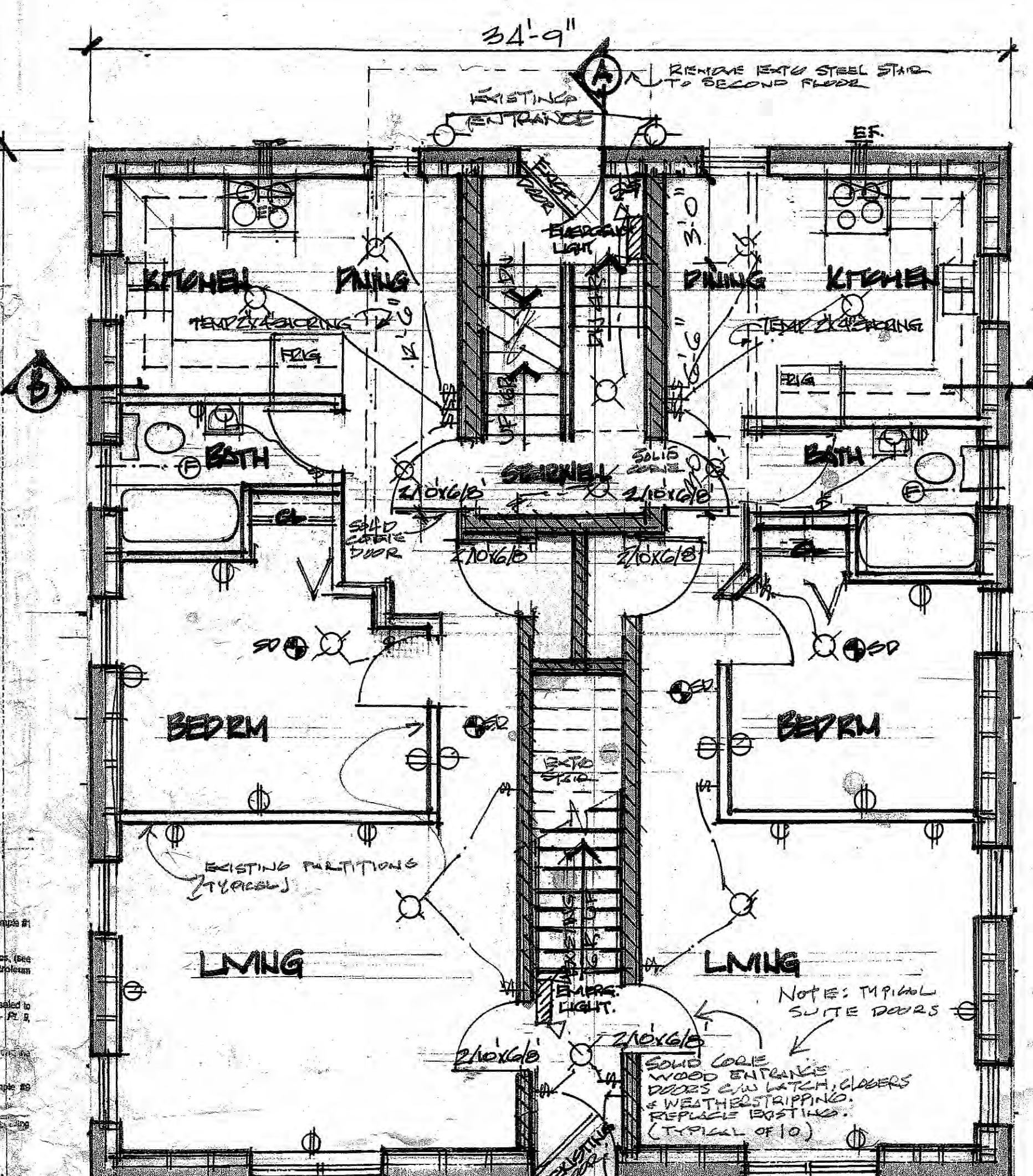
STAIRS: UNIFORM RISE / RUN
 RISE: 7 1/2" MAX.
 RUN: 11" MIN.
 TREAD: 10 1/2" MIN.
 NOSING: 1" MIN.
 HEADROOM: 6'8" MIN.
 WIDTH: 3'0" MIN.
 HANDRAILS: 36" MIN. TO 38" MAX.
 GUARDS ON LANDINGS: 36" MIN. HEIGHT w/ 4" MAX. SPACES BETWEEN SPINDLES

PROVIDE HANDRAILS ON BOTH SIDES OF STAIR FOR STAIRS MORE THAN 42" WIDE.
 ALL GUARDS TO BE NON-CUMULATIVE
 STAIRS TO FINISHED BASEMENTS TO BE ENCLOSED BY WALLS OR GUARDS AS PER 9.8.2.1 OF O.B.C. 2006

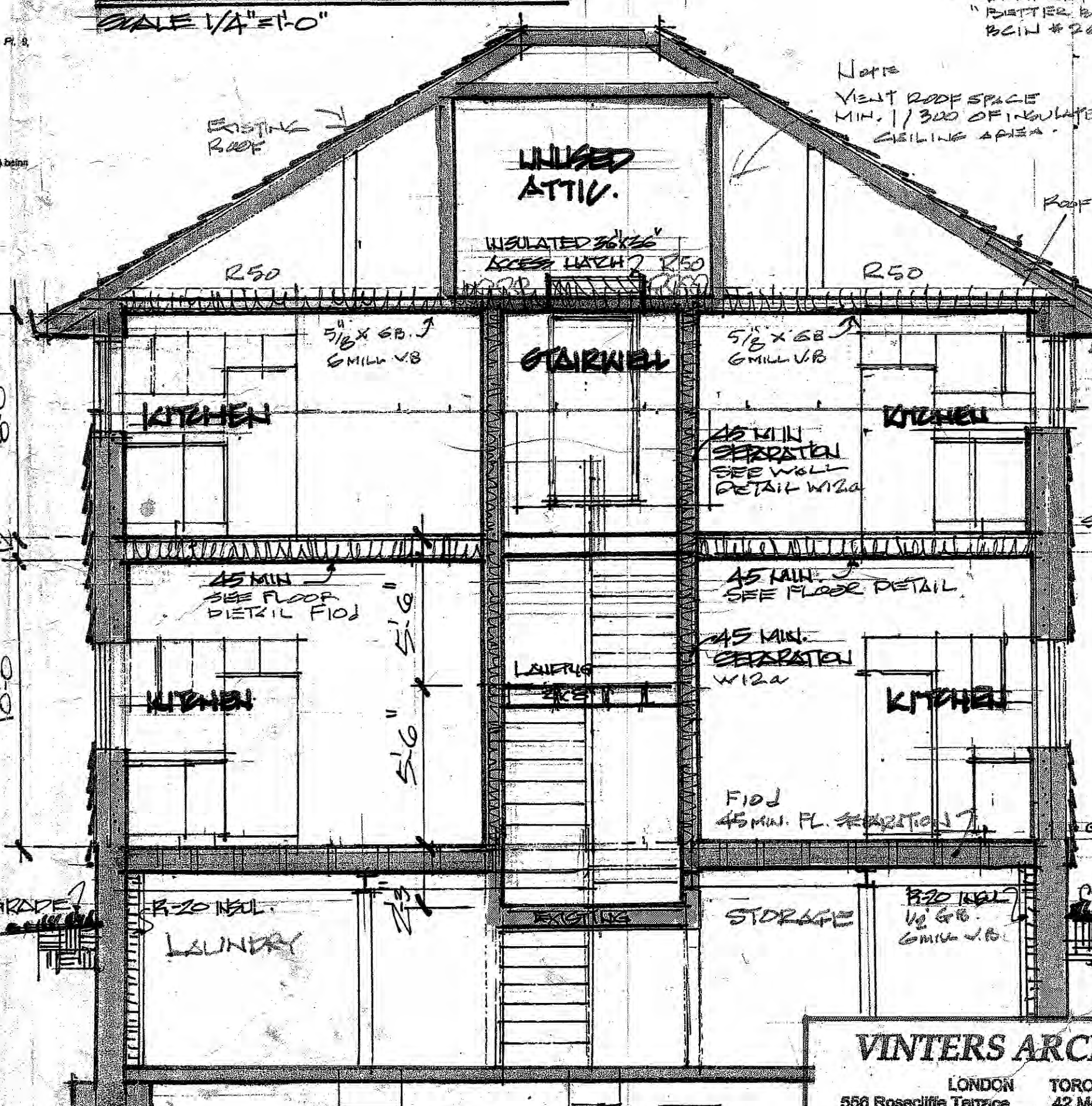
WHERE CERAMIC FLOORING IS INSTALLED, REINFORCE SUBFLOOR AS PER 9.8.0.3 OF O.B.C.
 USE 5/8" TYPE INSULATION IN SLOPED CEILING. PROVIDE 6 MIL POLY BELOW CONC. SLABS IN CONC. STRENGTH IS LESS THAN 25 MPa.
 PROVIDE MIN. 2 MIL POLY UNDER ALL WOOD IN CONTACT WITH CONCRETE.
 PROVIDE RANGE HOOD VENTED TO EXTERIOR

SUPPLEMENTARY AIR BARRIER DETAILS
 Applies to permits applied for after December 31st, 2011

- Doors and window frames are to be sealed and sealed to the interior or exterior air barrier, (see details at attached, Div. B-P, 9, 2.25.3.3, (10), (11) & (12)
- If an air barrier is located on exterior, seal gaps between rigid insulation and door or window frames, (see example #1 attached), rigid insulation is to be sealed to the top and bottom plates. Note: Partitions based for products are not to come in contact with rigid foam sheathing.
- Seals at foundation and deck cantilevers are to be wrapped with flexible air barrier material and sealed to the exterior vapor barrier, and foundation wall, (see examples #3, 4, 9, 10 attached), Div. B-P, 9, 2.25.3.3, (9)
- Walls abutting attic space and exterior space are to be sealed on the air barrier can be sealed with an approved sealant, (see example #1 attached), Div. B-P, 9, 2.25.3.3, (9)
- All penetrations through the wall or ceiling air barrier are to be sealed, (see example #1 attached), All but joints in panel type air barriers are to be taped, Div. B-P, 9, 2.25.3.3, (9)
- Put lights and exhaust fans are to be surrounded with flexible air barrier material and sealed to the air barrier, (see example #1 attached), Div. B-P, 9, 2.25.3.3, (9)
- Seal around attic hatch, (see example #11 attached).
- All gaps in air barrier located behind sills, showers and dropceiling to be sealed and clamped, (see example #1 attached), Div. B-P, 9, 2.25.3.3, (9)
- All basins to be continuous throughout entire basement, (see example #1 attached), Div. B-P, 9, 2.25.3.3, (14)
- All penetrations through walls (plumbing, HVAC etc.) to be sealed with epoxy foam or caulked, (see example #1 attached), Div. B-P, 9, 2.25.3.3, (16)
- All scamp pits to have a sealed cover, Div. B-P, 9, 2.25.3.3, (16)
- Ceiling covers to be sealed, (weather strip), Div. B-P, 9, 2.25.3.3, (17)
- All basins to be continuous throughout entire basement, (see example #1 attached), Div. B-P, 9, 2.25.3.3, (14)
- Caulking is required at perimeter of foundation wall/floor joint and all pipe and post penetrations, (see example #1 attached), Div. B-P, 9, 2.25.3.3, (16)
- Maintain air barrier between cold room and basement, Div. B-P, 9, 2.25.3.3, (17)
- Permit applications to include the approved matrix, (Energy Efficiency Design Summary)
- An Barrier to have an appropriate inspection which must be called prior to any exterior finish (brick, siding) being installed. Builder is responsible to ensure air barrier details are in place when inspection called, Div. C-P, 1, 2.2.5.1, (9)



GROUND FLOOR PLAN
 SCALE 1/4" = 1'-0"



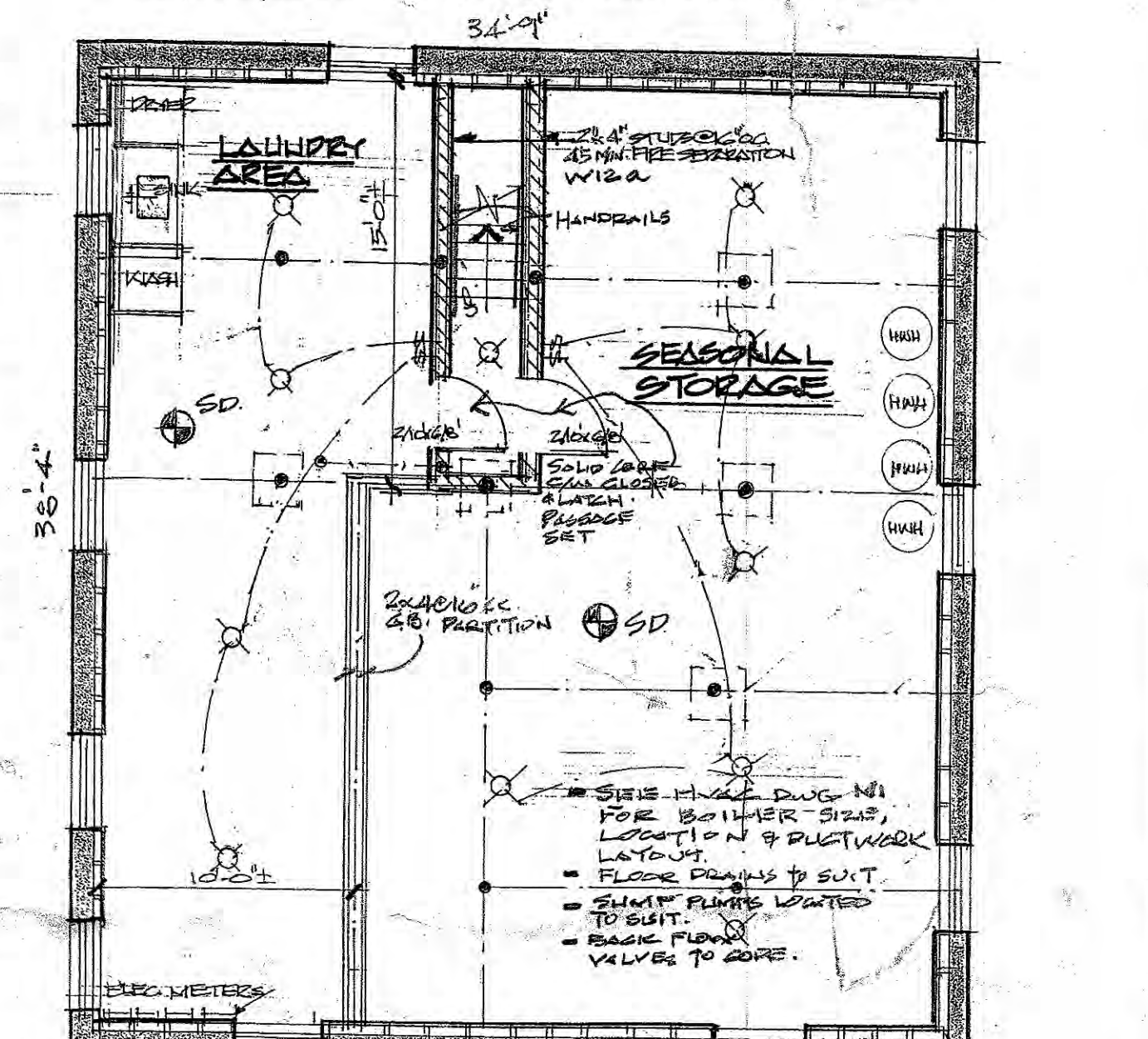
SECTION B-B 1/4" = 1'-0"

Fire and Sound Resistance of Walls

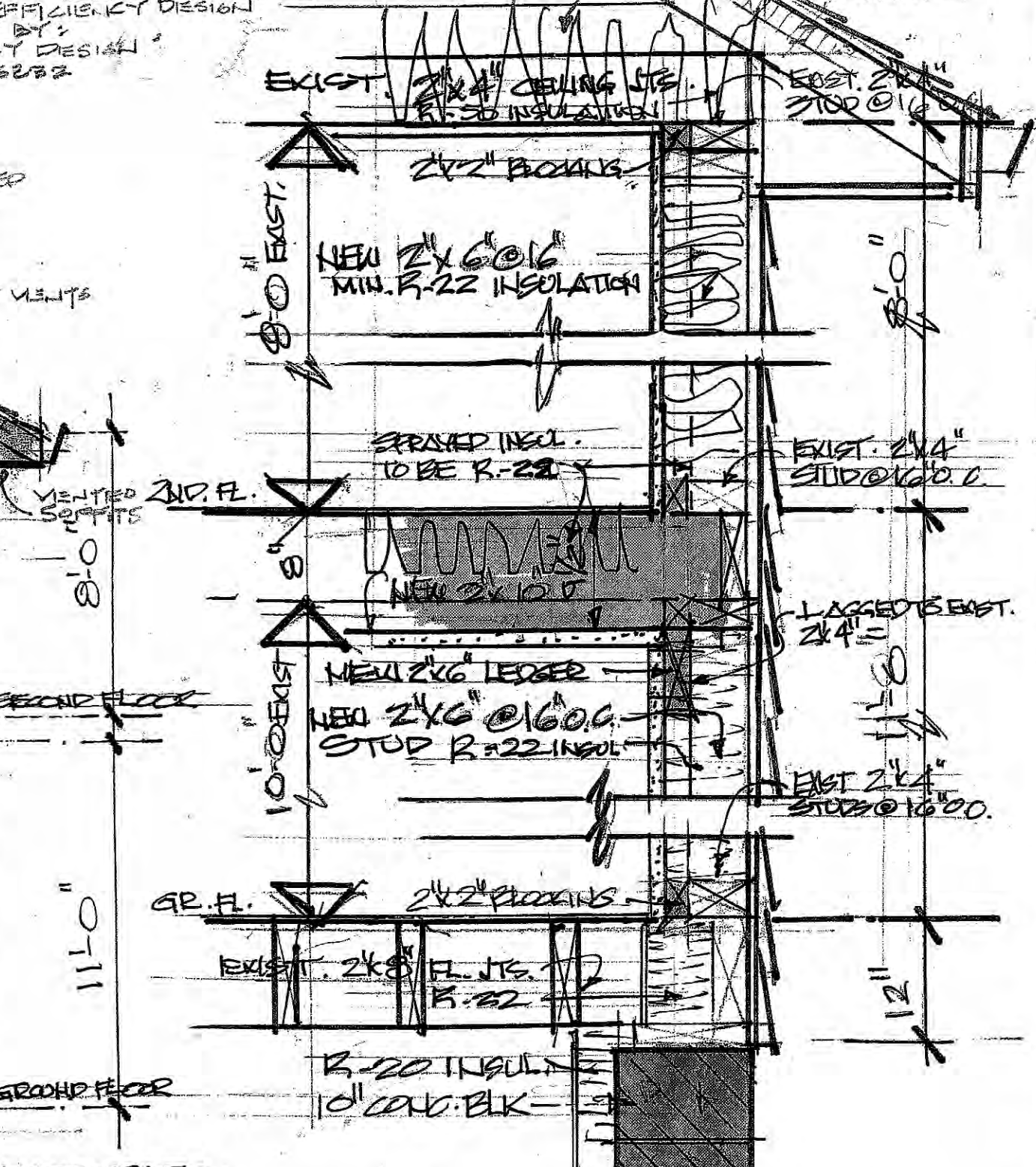
Type of Wall	Wall Number	Description	Fire-Resistance Rating ⁽¹⁾		Typical Sound Transmission Class ⁽²⁾ (STC)
			Loadbearing	Non-Loadbearing	
• Wood Studs	W12	• two rows 38 mm x 89 mm wood studs each spaced 406 mm or 610 mm o.c. staggered on common 38 mm x 140 mm plate • 69 mm thick absorptive material on one side or 65 mm thick on each side • resilient metal channels on one side spaced 406 mm or 610 mm o.c. • 1 layer of gypsum board on resilient metal channel side			53
• Two Rows Staggered on 38 mm x 140 mm plate	W12a	• 2 layers of gypsum board on other side • 15.9 mm Type X gypsum board	45 min	1 h	56

NOTES

ALL HATCHES PARTITIONS SEE SB-S DESIGN K122 SEE CHART ABOVE.



BASEMENT PLAN



SECTION WALL DETAIL
 SCALE 1/4" = 1'-0"

VINTERS ARCHITECT
 LONDON 556 Rosedale Terrace London, ON N6K 4H5
 TORONTO 42 Montecore Drive Toronto, ON M2P 1Z1
 E-MAIL: vinters@hotmail.com
 PHONE: (547) 852-4439

RENOVATIONS TO A-FLEX APARTMENT
 37 ST. CATHERINES ST. ST. THOMAS ONTARIO
 CONSULTANT
 ASSOCIATION OF ARCHITECTS
 VINTERS ARCHITECT
 JAN 2013
 2300
 JAN 15/16

GENERAL NOTES:

- GENERAL:**
- STRUCTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS AND ALL OTHER CONTRACT DOCUMENTS AND SPECIFICATIONS.
 - REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT LOCATIONS OF PITS, DEPRESSIONS, TRENCHES AND ROOF MOUNTED OR SUSPENDED UNITS.
 - DO NOT IMPOSE CONSTRUCTION LOADS ON THE STRUCTURE IN EXCESS OF THE DESIGN LOADS.
 - DO NOT CUT ANY HOLES IN BEARING WALLS WITHOUT CONSULTANT'S APPROVAL.
 - PROTECT EXISTING BUILDINGS, TREES, FENCING, UTILITY POLES, CABLES, ACTIVE UNDERGROUND SERVICES AND PAVING ON THE SITE OR ANY ADJOINING PROPERTIES FROM DAMAGE. ANY DAMAGE RESULTED FROM THIS CONSTRUCTION WORK SHALL BE MADE GOOD TO THE APPROVAL OF THE CONSULTANT AT NO COST TO THE OWNER.
 - ALL DESIGN AND WORKMANSHIP ON THIS PROJECT SHALL MEET THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY ACT (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION.
 - ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.

- SPECIAL PROVISIONS:**
- NO SUBSTITUTIONS ALLOWED UNLESS THE FOLLOWING ARRANGEMENTS ARE MADE:
- WRITTEN PERMISSION OBTAINED FROM THE CONSULTANT.
 - STEEL CONTRACTOR ENSURES THAT SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME AND AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR REIMBURSES ALL CONSULTANTS FOR ADDITIONAL COSTS INVOLVED.

- CODES OF PRACTICE, BY-LAWS & REGULATIONS:**
- COMPLY WITH THE ONTARIO BUILDING CODES, LOCAL MUNICIPAL AND PROVINCIAL BY-LAWS, CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS SET BY AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

- NOTIFICATION OF INSPECTING ENGINEER/PRINCIPAL PROFESSIONALS:**
- IN ACCORDANCE WITH THE REQUIREMENTS ON THE ONTARIO BUILDING CODE, CURRENT EDITION, THE ENGINEER WILL BE REQUIRED TO PERFORM GENERAL REVIEW OF THE BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS PREVIOUS TO COMMENCEMENT OF THE FOLLOWING ITEMS:
 - PLACING FOOTING CONCRETE
 - PLACING FROST WALLS, RETAINING WALLS, ETC.
 - BACK FILLING OF MASONRY OR CONCRETE BELOW GRADE WALLS
 - INSTALLATION OF STRUCTURAL STEEL, JOISTS, BEAMS, LINTELS, ETC. OR STRUCTURAL WOOD MEMBERS.
 - INSTALLATION OF BUILT UP ROOF.
 - PLACEMENT TO WALL OR CEILING INSULATION.
 - INSTALLATION OF MASONRY BEARING OR CURTAIN WALLS
 - DEMOLITION OF PART OR WHOLE OF ANY STRUCTURE
 - PRIOR TO PLACING OF CONCRETE FLOORS.

- LOADS:**
- EXAMINE ALL DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO OBTAIN ALL APPLICABLE LOADS. REPORT DISCREPANCIES TO CONSULTANT.
 - ALL DESIGN LOADS GIVEN ON THE DRAWINGS ARE SPECIFIED WORKING LOADS, EXCEPT FOR STRUCTURAL STEEL MEMBER FORCES WHICH ARE FACTORED LOADS.
 - THE STRUCTURE HAS BEEN DESIGNED FOR WIND AND EARTHQUAKE (SEISMIC) FORCES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE. FOR REFERENCE OF WIND PRESSURE AND SEISMIC DATA, SEE FOUNDATION PLAN DRAWINGS.

- BUILDING IMPORTANCE CATEGORY NORMAL
- DEAD LOADS -
- LIVE LOADS -
- LIVE LOADS DUE TO SNOW, ICE AND RAIN
 - GROUND SNOW LOAD (S_s) 1.4 kPa
 - GROUND RAIN LOAD (S_r) 0.4 kPa
 - IMPORTANCE FACTOR (I_s) 1.0 kPa
 - DRIFT LOAD VARIES SEE PLAN
 - SNOW DISTRIBUTION AND SNOW LOADING FACTORS APPLIED AS PER OBC AND NBC FIG. 'G'. 5.8
 - ARE THE ROOF DRAINS DESIGNED TO RETAIN WATER FOR STORM WATER MANAGEMENT? YES NO X
- LIVE LOADS DUE TO WIND
 - HOURLY WIND PRESSURE FOR STRUCTURAL COMPONENTS 0.48 kPa PROBABILITY 1/20
 - HOURLY WIND PRESSURE FOR CLADDING 0.48 kPa PROBABILITY 1/20
 - IMPORTANCE FACTOR (I_w) 1.0
 - WIND LOAD APPLIED AS PER OBC AND NBC FIG. 'T'. 7.8.9
- FULL AND PARTIAL LOADINGS APPLIED AS PER OBC AND NBC
- LIVE LOAD FACTOR
 - IF LIMIT STATES DESIGN USED 1.5
- LIVE LOADS DUE TO EARTHQUAKES
 - S_a(0.2) = 0.20 IMPORTANCE FACTOR (I_e) = 1.0
 - S_a(0.5) = 0.098 SITE CLASSIFICATION: SITE CLASS: C
 - S_a(1.0) = 0.048 F_a = 1.0 F_v = 1.0
 - S_a(2.0) = 0.013
 - PGA = 0.13
- OTHER EFFECTS APPLIED AS PER SUBSECTION 4.1.10. OF OBC
- LIMIT STATES DESIGN SAFETY CHECK FOR STRENGTH AND STABILITY AS PER OBC 4.1.3.2. SERVICEABILITY AND FATIGUE AS PER OBC 4.1.3.3.

FOUNDATION SYSTEM:

- SOIL CONDITIONS, EXCAVATION, FOUNDATIONS AND RELATED WORK:**
- REFER TO SOIL INVESTIGATION REPORT AS NOTED ON FOUNDATION PLAN. (MIN. SOIL BEARING OF 3000 psf).
 - EARTH BOTTOM OF EXCAVATIONS TO BE DRY UNDISTURBED SOIL, LEVEL, FREE FROM ANY LOOSE OR ORGANIC MATERIALS.
 - PROTECT BOTTOMS OF EXCAVATIONS FROM SOFTENING. SHOULD SOFTENING OCCUR, REMOVE SOFTENED SOIL AND REPLACE WITH CONCRETE.
 - BACK FILL SIMULTANEOUSLY EACH SIDE OF WALLS TO EQUALIZE SOIL PRESSURES.
 - CONSTRUCT ALL FOOTINGS ON UNDISTURBED SOIL CAPABLE OF WITHSTANDING THE PRESSURES SHOWN ON FOUNDATION PLAN.
 - EXTEND EXTERIOR WORK BELOW FROST LINE AS NOTED ON FOUNDATION PLAN.
 - PROTECT FOUNDATIONS INCLUDING ANY SLAB ON GRADE FROM FROST ACTION DURING CONSTRUCTION.
 - BEFORE PLACING CONCRETE FOR FOOTINGS, OBTAIN APPROVAL FROM SOIL CONSULTANT. NOTIFY CONSULTANT IF ANY MODIFICATIONS ARE REQUIRED.
 - LOCATE ALL FOOTINGS CENTRALLY UNDER COLUMNS AND WALLS, U/N.
 - STEP FOOTINGS DOWN OR LOWER FOOTINGS WHERE NECESSARY TO SUIT EXISTING AND/OR ADJACENT FOOTINGS, MECHANICAL & ELECTRICAL INSTALLATIONS, AND POOR SOIL CONDITIONS. THE LINE OF SLOPE ALONG STEPPED FOOTINGS AND BETWEEN ADJACENT FOOTINGS AND/OR EXCAVATIONS SHALL NOT EXCEED THE ANGLE OF REPOSE OF THE SITE SOIL CONDITIONS. STEP FOOTING 2'-0" (600mm) MAXIMUM AT A TIME.

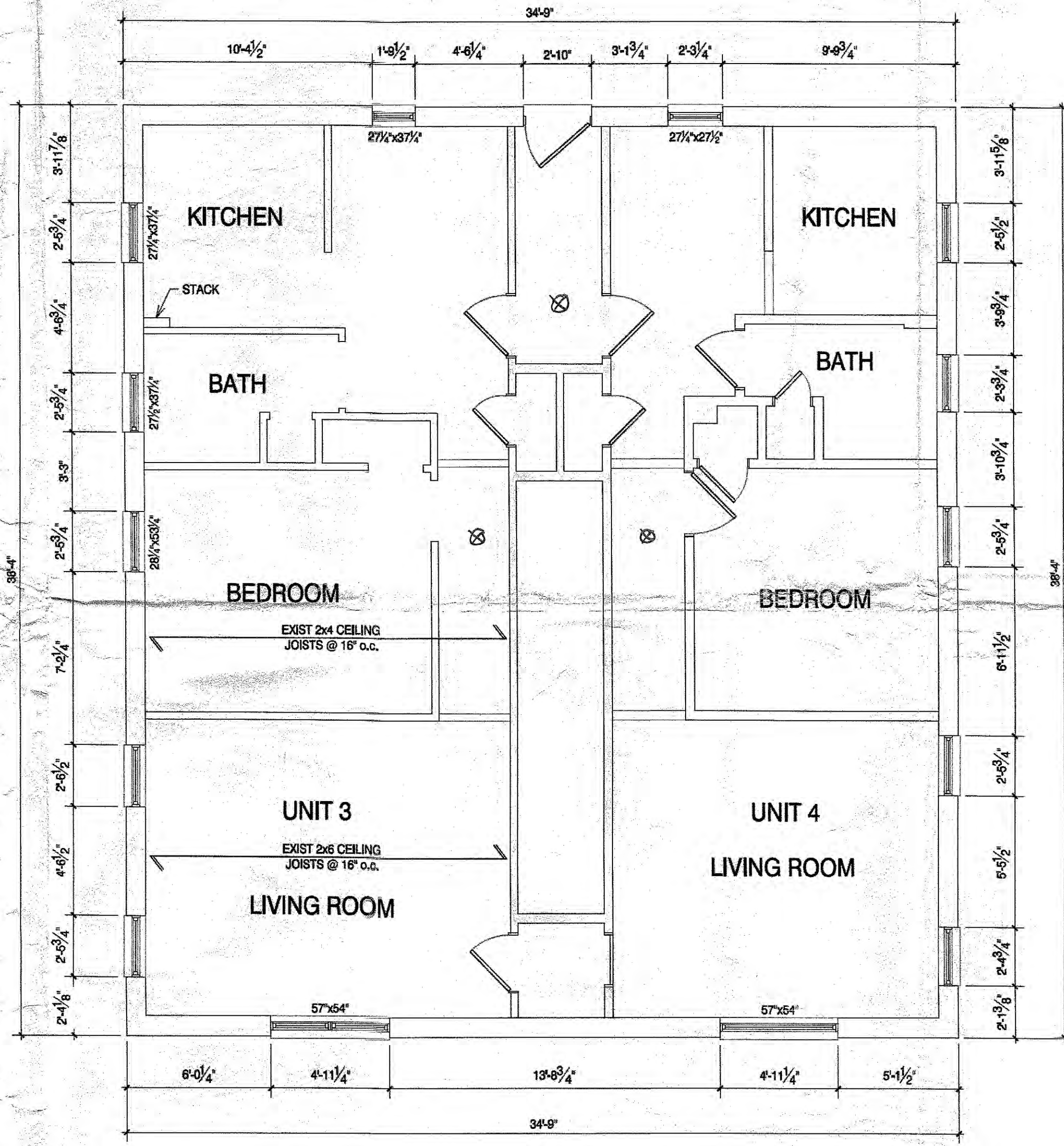
- CAST-IN-PLACE CONCRETE:**
- ALL CONCRETE WORK SHALL CONFORM TO C.S.A. STANDARDS A23.1-04/A23.2-04.
 - SIDES OF FOOTINGS SHALL BE FORMED UNLESS SPECIFICALLY SHOWN ON DRAWINGS TO BE POURED AGAINST EARTH. WHERE EARTH FORMS ARE PERMITTED, HAND TRIM BOTTOMS AND SIDES AND REMOVE LOOSE EARTH BEFORE PLACING CONCRETE.
 - PROVIDE SLEEVES IN SLABS OR WALLS FOR MECHANICAL PIPING AND AVOID OPENINGS WHERE POSSIBLE.
 - DETAIL, FABRICATE AND PLACE ALL REINFORCEMENT IN CONFORMITY WITH THE LATEST EDITION OF "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES AND METRIC SUPPLEMENT", BY THE REINFORCING STEEL INSTITUTE.
 - ALL REINFORCEMENT SHALL BE DEFORMED BARS CONFORMING TO CAN/CSA G30.18-M92 (R2007) WITH MINIMUM YIELD STRENGTH OF 400 Mpa. WELDED FABRIC SHALL CONFORM TO C.S.A. G30.5-M1983. (MINIMUM YIELD STRENGTH OF 440 Mpa).
 - PROVIDE CONCRETE COVER TO REINFORCEMENT AS FOLLOWS:
 - SLAB ON GRADE - 1 1/2" (40mm) FROM TOP OF SLAB;
 - CONCRETE POURED AGAINST EARTH - 3" (75mm);
 - FORMED SURFACE AGAINST EARTH - 2" (50mm).
 - LAPS: MESH LAP - 6" (150mm).
 - ALL OTHER LAPS AND EMBEDMENT OF DOWELS 3x THE DIAMETER OR 450mm (1'-6") MINIMUM, UNLESS OTHERWISE SHOWN.
 - PROVIDE DOWELS FROM ALL FOOTINGS TO REINFORCED CONCRETE WALLS, PIERS AND COLUMNS. SECURE COLUMN DOWELS IN CORRECT POSITION BEFORE PLACING CONCRETE.
 - UNLESS OTHERWISE NOTED ON PLAN OR IN SPECIFICATIONS, ALL CONCRETE SHALL BE READY MIXED WITH TYPE 10 CEMENT, 3/4" (20mm) MAXIMUM NORMAL WEIGHT AGGREGATE SIZE, 3" (75mm) MAXIMUM SLUMP AT POINT OF DISCHARGE AND 28 DAY OF 25 MPa STRENGTH.
 - PROVIDE AIR-ENTRAINED CONCRETE TO ALL CONCRETE ELEMENTS EXPOSED TO WEATHER IN ACCORDANCE WITH THE REFERENCE STANDARD, INCLUDING FOUNDATION WALL.
 - GROUT UNDERSIDE OF STEEL COLUMNS AND BEAM BEARING PLATES WITH DRY PACK NON-SHRINKING GROUT TO MANUFACTURER'S SPECIFICATIONS. MIX PROPORTION OF DRY PACK GROUT SHALL BE: ONE (1) PART OF PORTLAND CEMENT, ONE AND A HALF (1 1/2) PARTS SAND, AND TWO PARTS OF 3/8" PEA GRAVEL, WITH ONLY SUFFICIENT WATER TO DAMPEN THE MIXTURE.
 - CONTROL JOINT FILLER: REFER TO SPECIFICATIONS.
 - JOINT FILLER: SEE SPECIFICATIONS.
 - FOR CONCRETE ANCHORS, INSERTS, BOLTS, ETC.: CONCRETE ANCHORS FOR FASTENING NEW STEEL ASSEMBLIES TO EXISTING CONCRETE SHALL BE "HILTI" "KWIK" BOLTS, SUPPLIED BY CANADIAN "HILTI LTD.", OR AN APPROVED EQUIVALENT.

- SLAB ON GRADE (refer also to specifications):**
- EXCAVATE AND REMOVE ALL FOREIGN MATERIAL AND SOFT SPOT IN THE SUB GRADE AS INDICATED IN SOIL REPORT.
 - PLACE GRANULAR FILL TO COVER ENTIRE BUILDING AREA TO A MINIMUM DEPTH OF 8" (200mm). COMPACT FILL TO 100% S.P.D. UNLESS SPECIFIED OTHERWISE IN EXCAVATION AND BACK FILL SPECIFICATIONS.
 - ALL GRANULAR FILL IS TO MEET SPECIFIED REQUIREMENTS AS RECOMMENDED IN THE SOIL REPORT, AND THE SPECIFICATIONS.
 - ALL SLAB ON GRADE TO BE PLACED ON NATURAL UNDISTURBED SOIL OR COMPACTED BACK FILL CAPABLE OF SUSTAINING 48 kN/m² (1000 psf) MINIMUM. ALL BACK FILL TO BE COMPACTED TO MINIMUM 100% S.P.D. FOR ACTUAL SITE CONDITIONS SEE SOIL REPORT.
 - CONCRETE STRENGTH FOR SLAB ON GRADE TO BE MINIMUM 25 MPa @ 28 DAYS.
 - PROVIDE CONTROL JOINT DETAILS AROUND COLUMNS.
 - PLACE SLAB ON GRADE IN PANELS NOT EXCEEDING 9,000 sq. ft. (900 sq. meters) IN AREA. ALSO, PROVIDE SAW-CUT CONTROL JOINTS AS SHOWN ON PLAN, OR AT 36 x d OR 15'-0" MAXIMUM SPACING (WHICHEVER IS SMALLER).

- WOOD:**
- ALL WOOD MEMBERS ARE DESIGNED IN ACCORDANCE WITH CSA STANDARD CAN3-086.1-01.
 - ALL WOOD SHALL BE NO. 2 SPRUCE OR BETTER OR AS OTHERWISE NOTED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING TO ALL WOOD MEMBERS TO SAFELY SUSTAIN ALL FORCES TO WHICH THEY MAY BE SUBJECTED, INCLUDING WIND.
 - ROOF TRUSS MANUFACTURER SHALL PROVIDE ALL BRIDGING, BRACING, ETC. NECESSARY FOR THE FINISHED ROOF SYSTEM TO RESIST ALL FORCES TO WHICH THEY MAY BE SUBJECTED TO, INCLUDING WIND.
 - ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THIS COMPANY FOR REVIEW PRIOR TO MANUFACTURING.

- TEMPORARY WORK:**
- PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT OF THIS CONTRACT.
 - MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURE PLUMB AND IN THE TRUE ALIGNMENT AT ALL PHASES OF WORK UNTIL COMPLETION (INCLUDING MASONRY WALLS, FLOOR AND ROOF DECKS, ETC.). ANY BRACING MEMBERS SHOWN ON PLANS ARE THOSE REQUIRED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES.
 - TRUCKS, CRANES, HOISTS OR ANY HEAVY EQUIPMENT OR MATERIALS ARE NOT ALLOWED TO ENTER ANY STRUCTURAL FLOOR OR ROOF AREA UNLESS SPECIFICALLY DESIGNED AND DESIGNATED FOR THIS PURPOSE.

- TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES:**
- THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY SUPPORTS, TEMPORARY BRACINGS, SHORING SYSTEM, AND FACILITIES AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
 - THE CONTRACTOR SHALL ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN THE APPROPRIATE DISCIPLINES TO PERFORM THOSE FUNCTIONS REFERRED TO IN PARAGRAPH ABOVE OR AND IN ALL CASES WHERE SUCH TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES AND THEIR METHOD OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.

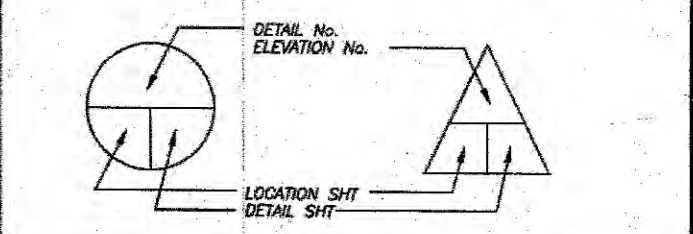


SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- Smoke detector (all interconnected) 45 min rated fire separation
- All floors to be 45 min rated fire separations (including between basement and first floor)
- All load bearing walls, beams & columns to be protected with 45 min fire resistance rating
- All duct work passing through a fire separation to be protected with an approved fire damper

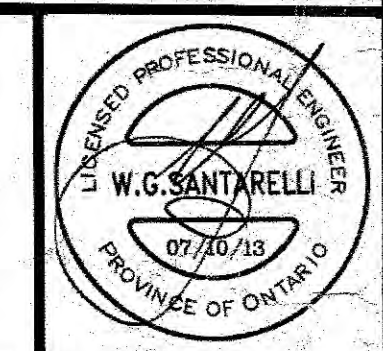
SET NUMBER

KEY TO DETAIL & ELEVATION MARKS



GENERAL NOTES

ALL PRINTS & SPECIFICATIONS ARE THE PROPERTY OF BOTH SANTARELLI ENGINEERING SERVICES & CHUTE ELECTRIC. UNAUTHORIZED USE OF THIS DRAWING IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN PERMISSION OF SANTARELLI ENGINEERING SERVICES & CHUTE ELECTRIC IS STRICTLY PROHIBITED.



Santarelli Engineering Services

520 First St., Unit 22, London, ON, N6Y 3C6
Tel: (519) 451-5530 Fax: (519) 451-4470
Firm BCIN: 27432

REVISIONS

No.	DATE	DESCRIPTION	BY
00	06/06/13	ISSUED FOR APPROVAL	SLP
01	07/10/13	ISSUED FOR CONSTRUCTION	SLP

CITY OF ST. THOMAS
Environmental Services Department
Engineering Division
Building Services

APPROVED PLANS
Date: JUN 14/14
Planner: [Signature]
Examiner: [Signature]
Permit #: 14-007

SITE COPY

EX. FLOOR PLANS

37 St. Catherines Street

St. Thomas Ontario

DRAWN BY: HV	SHEET No. S1
APPROVED BY: WGS	FILE No. 13-305
SCALE: AS NOTED	PROJECT No.
DATE: MARCH 2013	

GENERAL NOTES:

ALL DESIGN AND WORKMANSHIP ON THIS PROJECT SHALL MEET THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY ACT (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION. PROVIDE ALL TEMPORARY SHORING AND BRACING TO ENSURE THE STRUCTURE REMAINS STABLE DURING CONSTRUCTION.

FOUNDATION & FOOTINGS

ALL FOOTINGS TO BE ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL. ALL CONCRETE SHALL CONFORM TO SECTION 9.3.1 OF O.B.C. 2012. ALL FOUNDATION WALLS AND FOOTINGS CONCRETE STRENGTH TO BE MIN 20MPA. PROVIDE MIN. 6 MIL. POLY UNDER ALL WOOD IN CONTACT W/ CONCRETE. ELECTRICAL & LIGHTING FACILITIES TO COMPLY WITH SECTION (9.34).

STAIRS AND GUARDS

INTERIOR AND EXTERIOR (INCLUDING BASEMENT)
 MAX. RISE = 7-7/8"
 MAX. RUN = 8-1/4"
 MIN. TREAD = 9-1/4"
 NOSING = 1"
 MIN. HEAD ROOM = 6'-5"
 MIN. STAIR WIDTH = 2'-10"
 MIN. RAILING HEIGHT = @ LANDING 3'-0"
 MAX. 4" BETWEEN SPINDLES TO BE MADE NON-CLIMBABLE

GENERAL STRUCTURAL

ALL BEAMS AND GIRDERS TO BE SUPPORTED FULL WIDTH TO FOUNDATION.

WINDOWS AND DOORS

TO COMPLY W/ FORCED ENTRY STANDARDS (9.6.8. & 9.7.6.) FLOOR LEVELS CONTAINING BEDROOMS TO HAVE AT LEAST ONE WINDOW WITH AND UNOBSTRUCTED OPERABLE AREA OF 3.8 SQ.FT. WITH NO DIM. LESS THAN. 15" (9.7.1.3.) EXT. CONC. STAIRS W/ MORE THAN 2 RISERS AND 2 TREADS REQUIRE SUPPORT FROM A FOUNDATION (9.8.9) EXT. CANTILEVERED STEPS TO BE BUILT IN CONFORMANCE W/ SECTION (9.8.10) EXTERIOR CLADDING TO CONFORM TO (9.27)

FRAMING NOTES:

PROVIDE BLOCKING FOR FUTURE GRAB BARS. BLOCKING ADJACENT WATER CLOSET TO SUIT MIN. 30" GRAB BAR INSTALLED AT 30-50 DEG., SLOPING UPWARDS AWAY FROM WATER CLOSET WITH LOW POINT OF GRAB BAR BEING 30"-35" A.F.F. & 2" IN FRONT OF WATER CLOSET. BLOCKING IN WALL BEHIND WATER CLOSET TO SUIT MIN. 24" GRAB BAR 6" ABOVE TANK. AT TUBS/SHOWERS, PROVIDE BLOCKING OPPOSITE THE ENTRANCE TO THE TUB/SHOWER TO SUIT MIN. 36" GRAB BAR MOUNTED 33 1/2" A.F.F. PROVIDE SOLID BLOCKING AT BOTH SIDES AT THE LOCK HEIGHT BETWEEN JAMB AND FRAME FOR ALL EXTERIOR DOORS (9.6.8.9) WHERE CERAMIC TILE FLOORING INSTALLED, SUBFLOOR TO BE REINFORCED PROVIDE 1'-10" X 2'-4" ACCESS HATCH (INSULATED) IN GARAGE AND UPPER FLOORS (9.19.2.) (INSULATED) (9.25.3.2.)

LOT AREA: ±768.3m² (5,280ft²)

LOT COVERAGE:
 EXISTING: ±25.0% (125.5m², 1,350.8ft²)
 PROPOSED: **TO MATCH EXISTING**

GROSS FLOOR AREA:
 EXISTING: 279.7m², 3,010.2ft²
 PROPOSED: 320.0m², 3,444.6ft²

PARKING COVERAGE:
 EXISTING: ±39.9% (195.8m², 2,108.0ft²)
 PROVIDED: **EXISTING TO REMAIN**

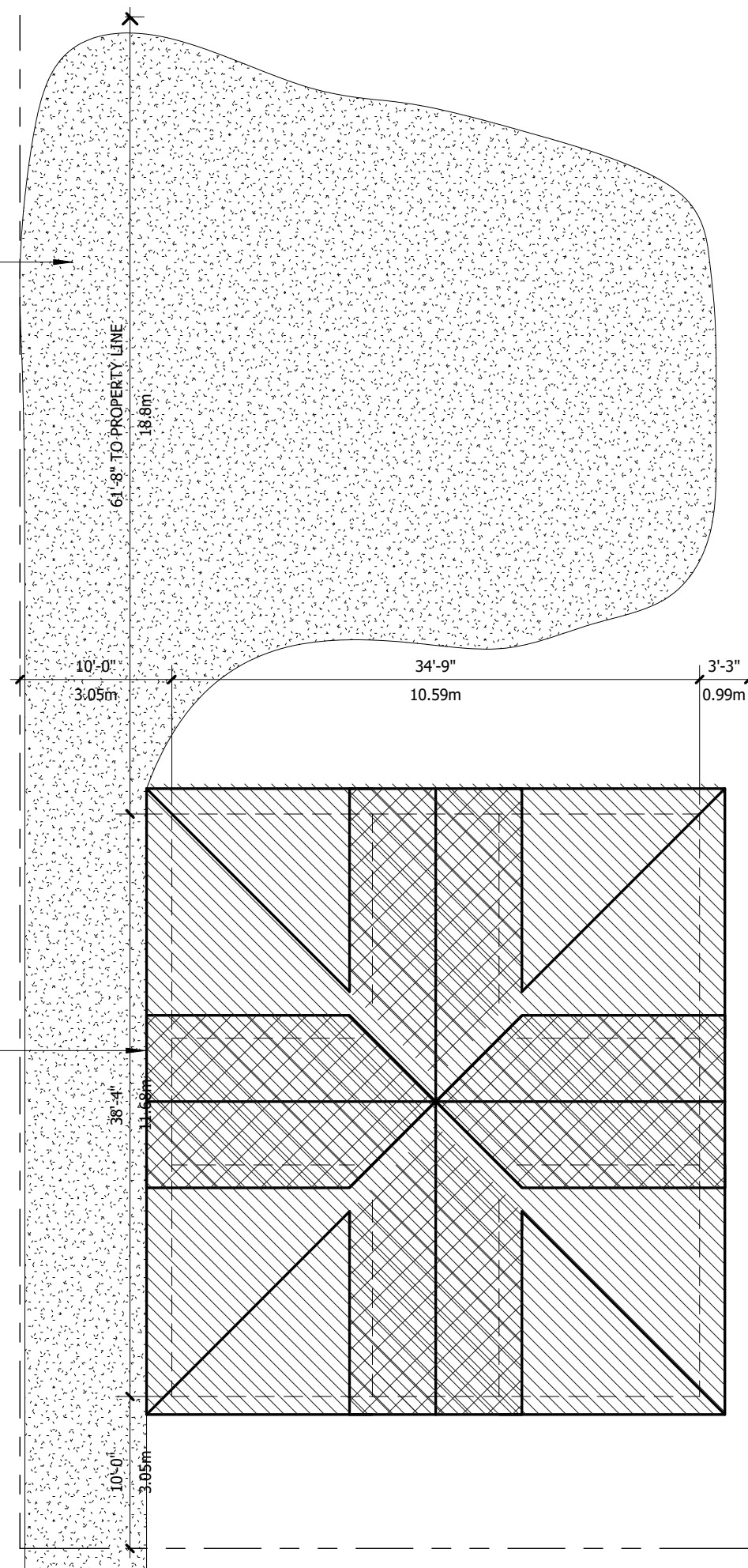
EX. BUILDING HEIGHT: ±33'-0 3/4" (10.5 m)
 PROPOSED ADDITION HEIGHT: TO MATCH EXISTING

C-2 ZONING
 37 ST. CATHERINES ST.
 CITY OF ST. THOMAS
 ELGIN COUNTY

SITE PLAN
 1" = 10'-0"

EXISTING GRAVEL PARKING LOT
 (MIN. 6 PARKING STALLS SHALL
 BE PROVIDED)

NEW GABLE ROOFS
 ON THIRD FLOOR



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3. Prints are not to be scaled.
4. All drawings, prints and specifications are the property of D. C. Buck Engineering.
5. All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and Local Building Standards Department.
6. These notes are to be read in conjunction with all drawings and specifications.

CLIENT
GRANT MCDONALD

1 | Permit Drawings | L.M. | D.B. | May 4, 2017

No. | Description | DRWN: | CHCK | DATE

Revision Schedule



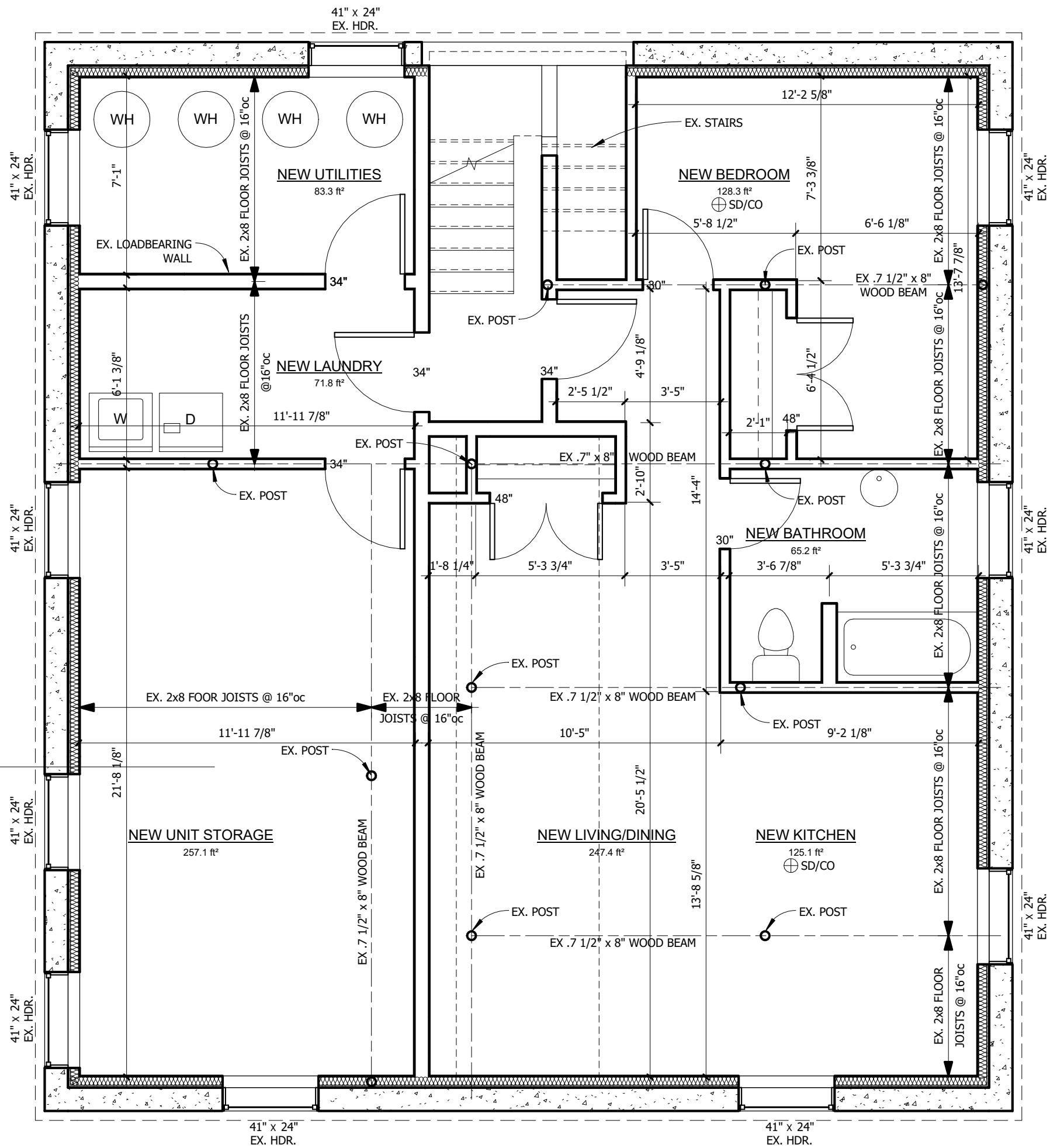
DCBUCK
 ENGINEERING



PROJECT
INT. RENOVATIONS
 TRIPLE STOREY 6-PLEX
 37 ST. CATHERINES ST.
 ST. THOMAS, ONTARIO

DRAWING TITLE
SITE PLAN

SCALE	As noted @ (11"x17")	DATE ISSUED	May, 4 2017
DRAWN	D.BUCK	CHECKED	D.BUCK
DESIGNED	D.BUCK	APPROVED	L.M
PROJECT No.	SHEET No.	REV. No.	
269017	S-1	1	



TOTAL BUILDING AREA: 1,350.8sq.ft.
 TOTAL FIN. FLOOR AREA: 1,000.8sq.ft.
 NOTE: ALL DIMENSIONS ARE MEASURED TO FACE OF STUD (New) OR FACE OF WALL (Existing)

PROPOSED BASEMENT PLAN
 1/4" = 1'-0"

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CLIENT
GRANT MCDONALD

1 Permit Drawings L.M. D.B. May 4, 2017

No.	Description	DRWN:	CHKD:	DATE

Revision Schedule

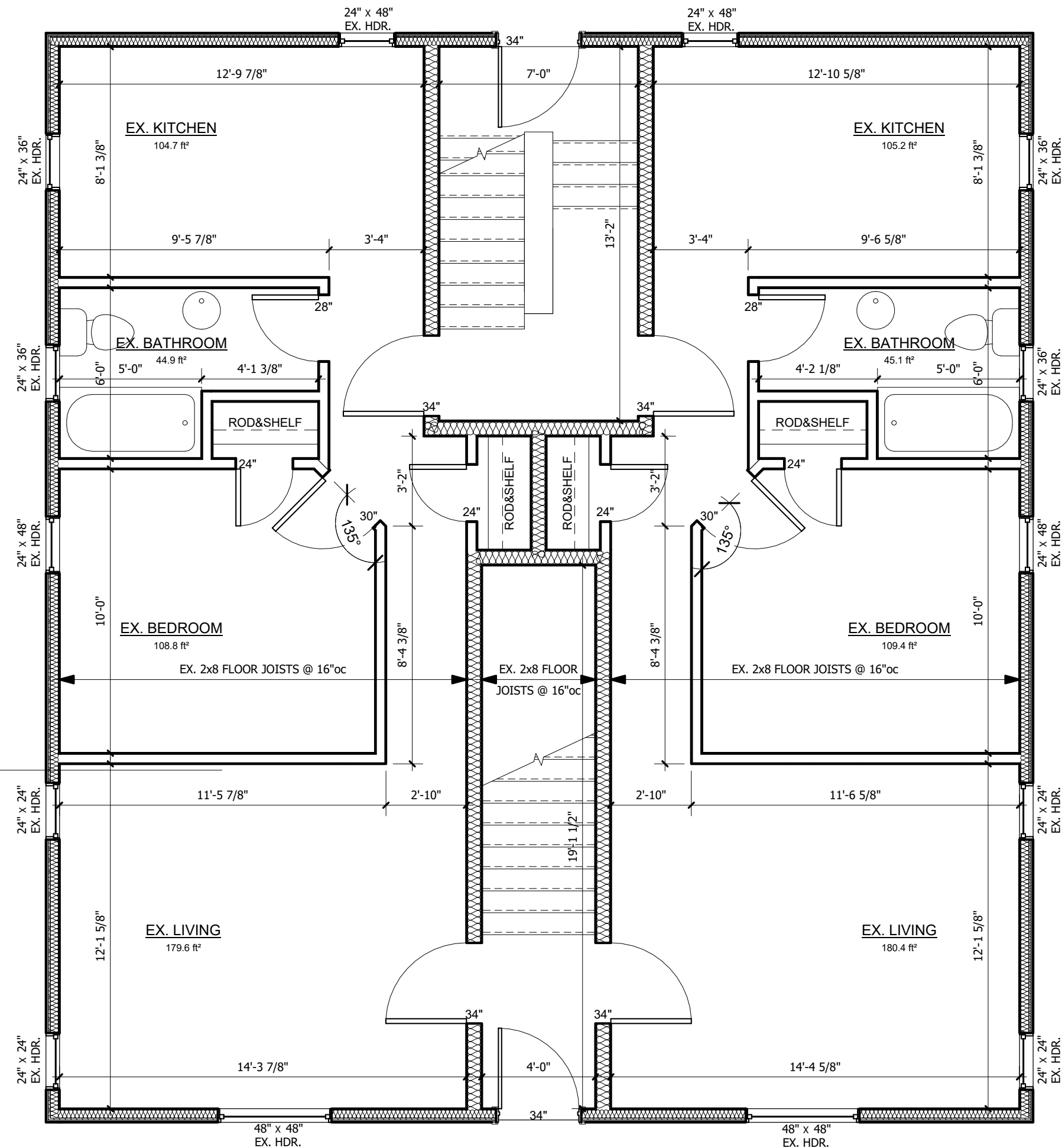


DCBUCK
 ENGINEERING

PROJECT
INT. RENOVATIONS
 TRIPLE STOREY 6-PLEX
 37 ST. CATHERINES ST.
 ST. THOMAS, ONTARIO

DRAWING TITLE
BASEMENT PLAN

SCALE	As noted @ (1/4"=1'-0")	DATE ISSUED	May, 4 2017
DRAWN	L.M.	CHECKED	D.BUCK
DESIGNED	D.BUCK	APPROVED	D.BUCK
PROJECT No.	SHEET No.	REV. No.	
269017	S-2	1	



TOTAL BUILDING AREA: 1,350.8sq.ft.
 TOTAL FIN. FLOOR AREA: 1,004.7sq.ft.
 NOTE: ALL DIMENSIONS ARE MEASURED TO FACE OF STUD (New) OR FACE OF WALL (Existing)


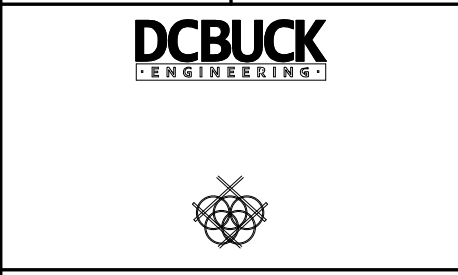
PROPOSED MAIN FLOOR PLAN
 1/4" = 1'-0"

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3. Prints are not to be scaled.
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CLIENT
GRANT MCDONALD

1	Permit Drawings	L.M.	D.B.	May 4, 2017
No.	Description	DRWN:	CHKD:	DATE

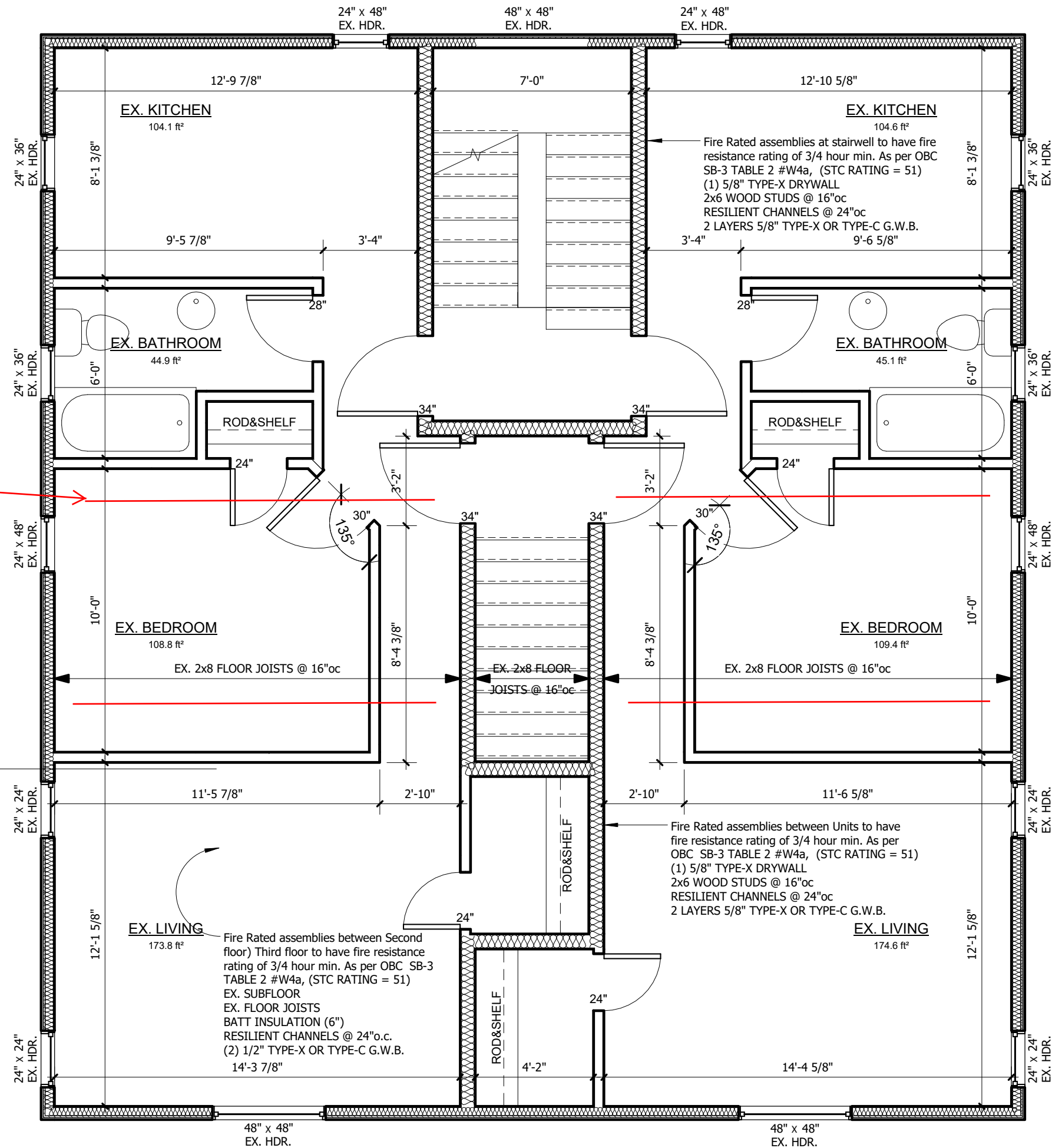
Revision Schedule

PROJECT
INT. RENOVATIONS
 TRIPLE STOREY 6-PLEX
 37 ST. CATHERINES ST.
 ST. THOMAS, ONTARIO

DRAWING TITLE
MAIN FLOOR PLAN

SCALE	As noted @ (11"x17")	DATE ISSUED	May, 4 2017
DRAWN	D.BUCK	CHECKED	D.BUCK
DESIGNED	D.BUCK	APPROVED	L.M
PROJECT No.	SHEET No.	REV. No.	
269017	S-3	1	



New (3) - 1.75"x9.25" LVL beams under new dormer walls above (these will need new bearing (min. (3)-2x4 studs full height as well)

TOTAL BUILDING AREA: 1,350.8sq.ft.
 TOTAL FIN. FLOOR AREA: 1,035.9sq.ft.
 NOTE: ALL DIMENSIONS ARE MEASURED TO FACE OF STUD (New) OR FACE OF WALL (Existing)


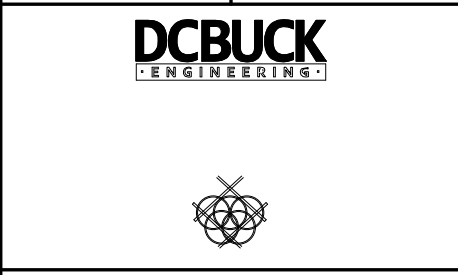
PROPOSED SECOND FLOOR
 1/4" = 1'-0"

1. Contractor must check and verify all dimensions and be responsible for same, reporting any discrepancies to the Engineer before commencing work.
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CLIENT
GRANT MCDONALD

1	Permit Drawings	L.M.	D.B.	May 4, 2017
No.	Description	DRWN:	CHKD:	DATE

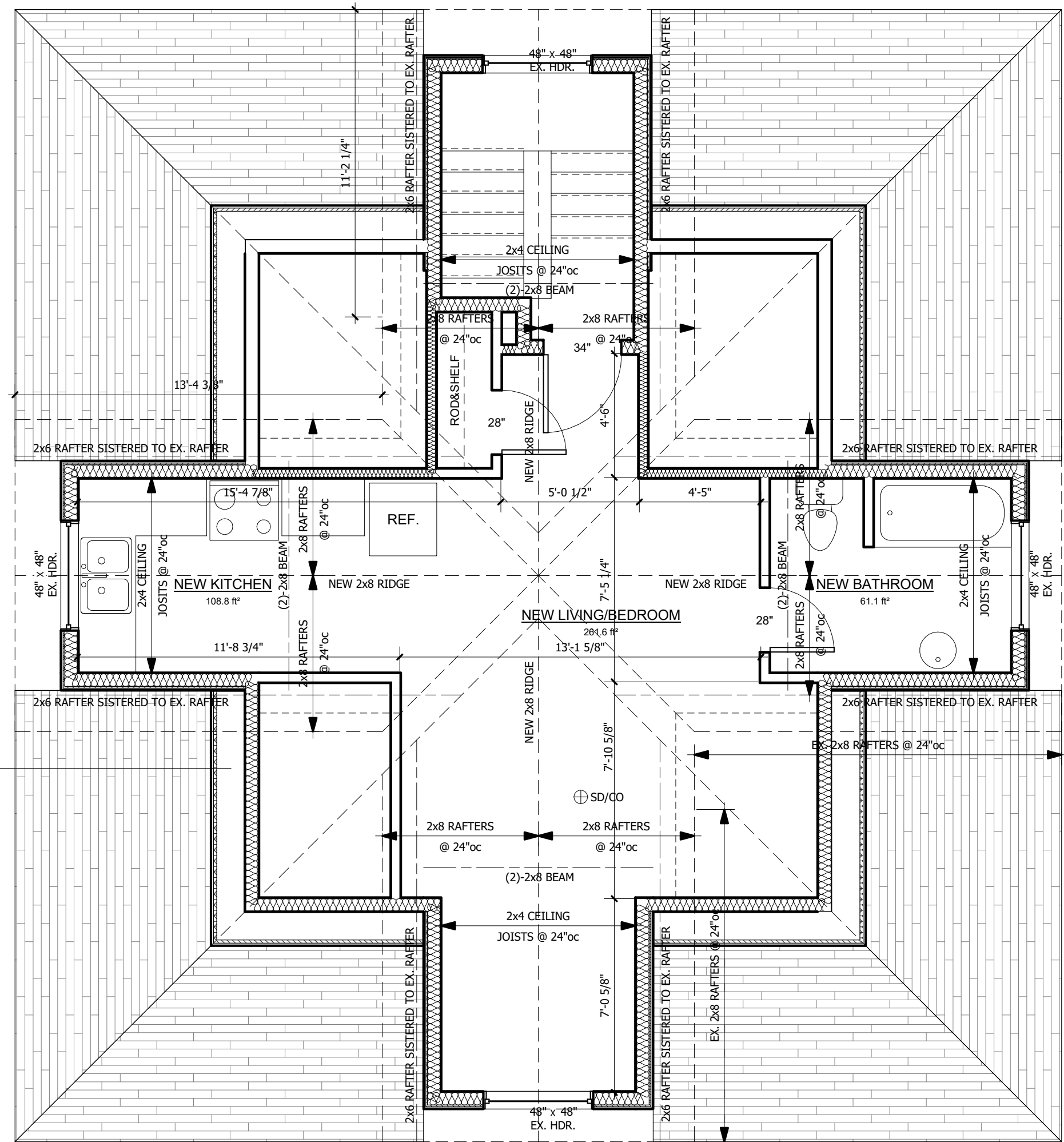
Revision Schedule

PROJECT
INT. RENOVATIONS
 TRIPLE STOREY 6-PLEX
 37 ST. CATHERINES ST.
 ST. THOMAS, ONTARIO

DRAWING TITLE
SECOND FLOOR PLAN

SCALE	As noted @ (11"x17")	DATE ISSUED	May, 4 2017
DRAWN	D.BUCK	CHECKED	D.BUCK
DESIGNED	D.BUCK	APPROVED	L.M
PROJECT No.	SHEET No.	REV. No.	
269017	S-4	1	



TOTAL BUILDING AREA: 1,350.8sq.ft.
 TOTAL FIN. FLOOR AREA: 434.4sq.ft.
 NOTE: ALL DIMENSIONS ARE MEASURED TO FACE OF STUD (New) OR FACE OF WALL (Existing)

PROPOSED THIRD FLOOR

1/4" = 1'-0"

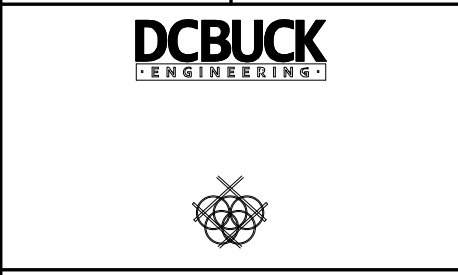
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3. Prints are not to be scaled.
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5. All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and Local Building Standards Department.
6. These notes are to be read in conjunction with all drawings and specifications.

CLIENT
GRANT MCDONALD

1	Permit Drawings	L.M.	D.B.	May 4, 2017
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No.	Description	DRWN:	CHK	DATE
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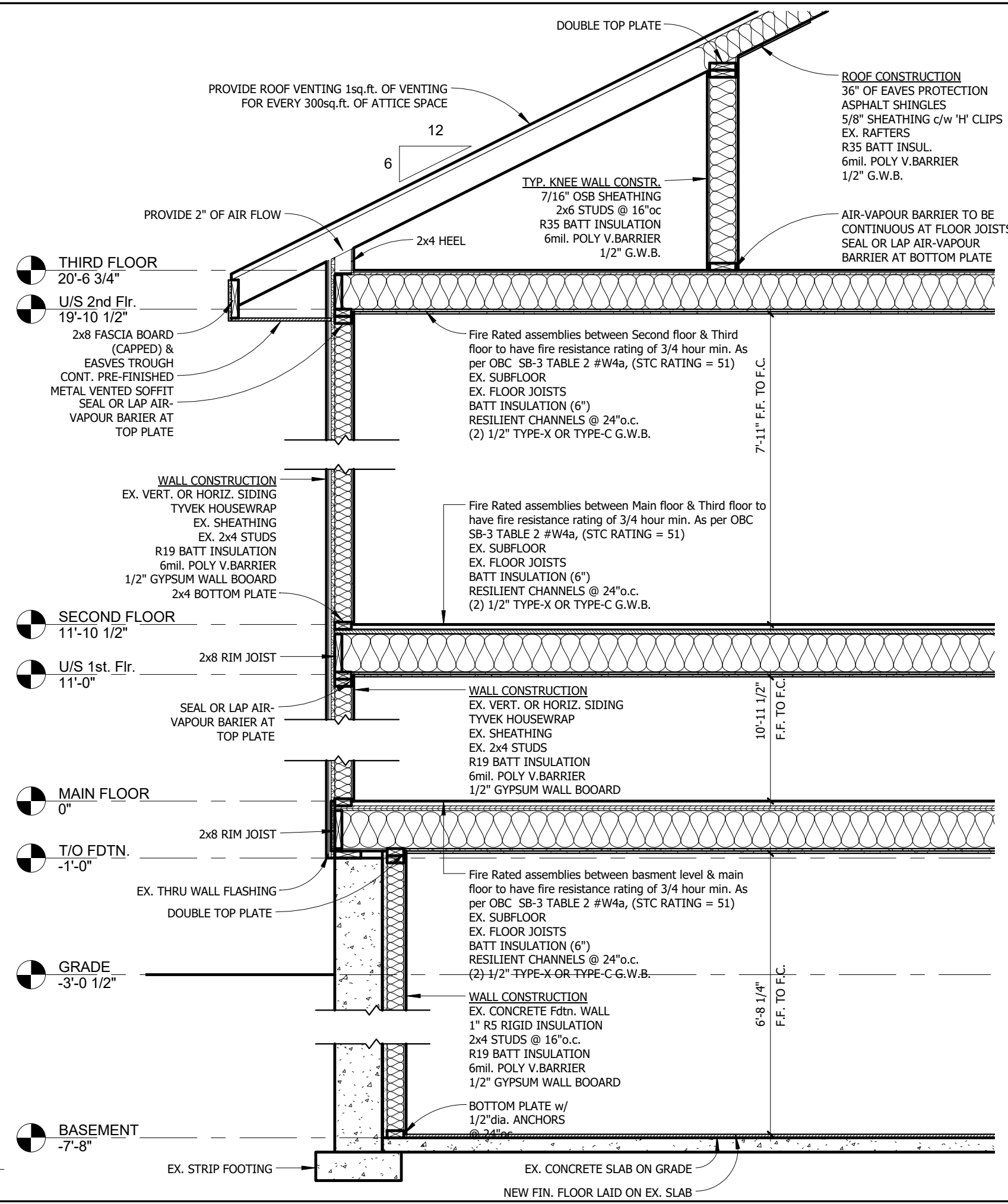
Revision Schedule



PROJECT
INT. RENOVATIONS
 TRIPLE STOREY 6-PLEX
 37 ST. CATHERINES ST.
 ST. THOMAS, ONTARIO

DRAWING TITLE
THIRD FLOOR PLAN

SCALE	As noted @ (1/4"=1'-0")	DATE ISSUED	May, 4 2017
DRAWN	D.BUCK	CHECKED	D.BUCK
DESIGNED	D.BUCK	APPROVED	L.M
PROJECT No.	SHEET No.	REV. No.	
269017	S-5	1	



TYPICAL SECTION
1/2" = 1'-0"

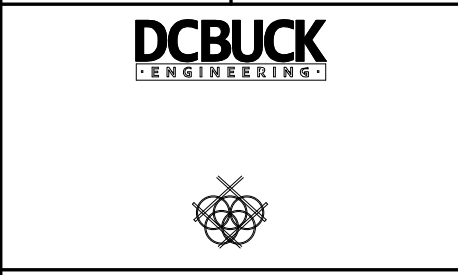
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6. These notes are to be read in conjunction with all drawings and specifications.

CLIENT
GRANT MCDONALD

1	Permit Drawings	L.M.	D.B.	May 4, 2017
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No.	Description	DRWN:	CHKD	DATE
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Revision Schedule

PROJECT
INT. RENOVATIONS
TRIPLE STOREY 6-PLEX
37 ST. CATHERINES ST.
ST. THOMAS, ONTARIO

DRAWING TITLE
TYP. SECTION

SCALE	As noted @ (1/2"x1/4")	DATE ISSUED	May, 4 2017
DRAWN	D.BUCK	CHECKED	D.BUCK
DESIGNED	D.BUCK	APPROVED	L.M
PROJECT No.	SHEET No.	REV. No.	
269017	S-6	1	



Quotation for 37 St. Catharine Street, St. Thomas

Project:

Description: Finish interior renovation of partially completed residential 4-Plex
Approximate Square Footage: 700 sq.ft/unit (2800 sq.ft. total)

Created For: 2530951 Ontario Inc.

February 15, 2017

Scope of Work:

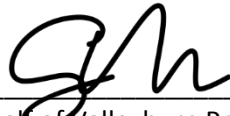
Permits (Current Status: 99% Complete)	
– Assume Grandfathered Permits	\$ 100
Framing (Current Status: 95% Complete)	\$ 2,500
– Conduct Framing Inspection, Correct Framing Deficiencies, Finalize Conduct Framing Inspection	
Plumbing (Current Status: 90% Complete)	
– Order Fixtures	\$ 15,000
– Conduct Standard Bidding Process	
– Finalize Rough In, Conduct Rough In Inspection, Install Finish Plumbing	
– Tap into water supply	
HVAC (Current Status: 5% Complete)	
– Conduct Standard Bidding Process	\$ 16,000
– Review & Finalize HVAC Design	
– Rough-In Heating System, Install Heating System	
– Conduct Bidding Process for Rentals (Boilers & Tankless Water Heaters)	
– Call Union Gas to Install Meters	
Electrical (Current Status: 95% Complete)	
– Conduct Standard Bidding Process	\$ 4,800
– Finalize rough-in electrical, Schedule rough-in electrical inspection, Perform finish electrical work	
– Call St. Thomas Energy Inc. to Connect Service	
Windows & Doors (Current Status: 0% Complete)	\$ 15,500
– Measure & Order Windows & Doors	
– Install Windows, Doors, Flashing	
Insulation (Current Status: 15% Complete)	
– Conduct Standard Bidding Process	\$ 13,500
– Install Exterior Wall Insulation, Soundproofing, Floor Insulation, Attic Insulation, Vapor Barrier & Seal	
– Inspect Insulation	
Drywall (Current Status: 3% Complete)	
– Perform Standard Bidding Process	\$ 18,000
– Order & Receive Drywall	
– Install Resilient Channel	
– Hang Drywall, Mud, Tape, Finish, and Inspect	
Trim (Current Status: 0% Complete)	
– Determine Trim Requirements	\$ 4,500
– Install Interior Doors, Window Casing and Aprons	
– Install Baseboard & Trim	
Painting (Current Status: 0% Complete)	\$ 8,000
– Perform Standard Bidding Process	
– Prime & Paint	

Scope of Work:

Cabinetry (Current Status: 25% Complete)	
– Install Bathroom Vanities (2 already on site)	\$ 2,500
– Install Kitchen Cabinets (already purchased, awaiting pick-up)	
– Install Countertops & Hardware	
<hr/>	
Flooring (Current Status: 0% Complete)	
– Select Vinyl Floor Covering	\$ 10,000
– Prepare sub floor for vinyl floor covering	
– Install vinyl floor covering	
<hr/>	
Total:	\$ 110,400

Please Note:

- Quote is valid for 30 Days
- Any additional work and/or unforeseen issues beyond the above scope of work will be estimated at the time of discovery.
- Payment terms will be discussed upon proposal acceptance



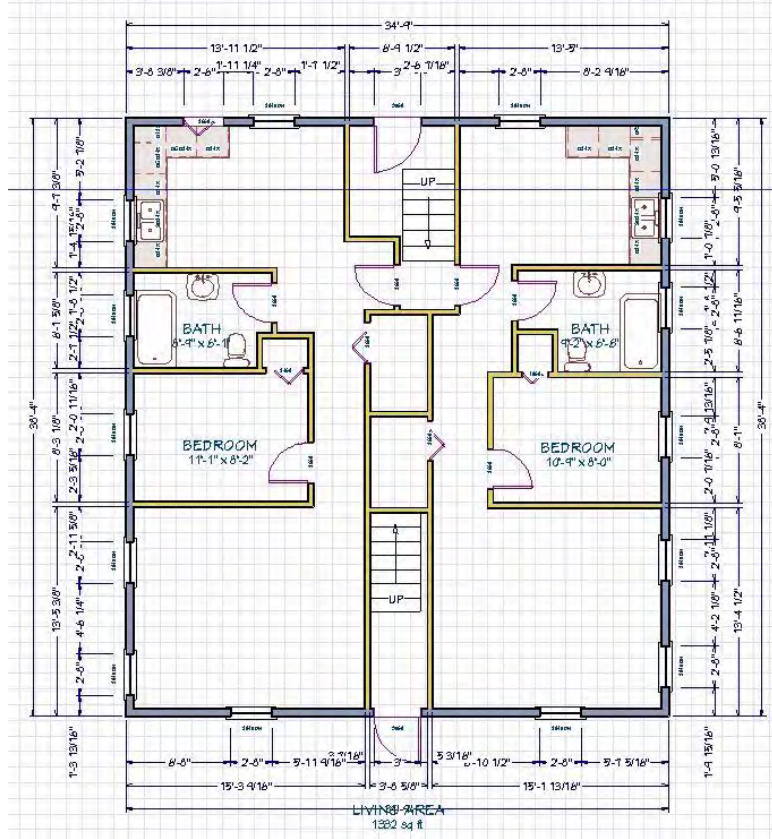
On behalf of Valleyburn Properties Corporation
1-800-303-2310
www.valleyburn.ca

February 15, 2017

Date

Scope of Work:

Layout & Photos:



Scope of Work:



Scope of Work:



Scope of Work:

