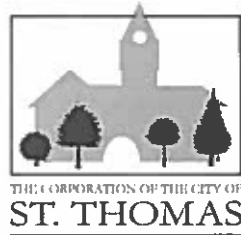


THE CORPORATION OF THE CITY OF ST. THOMAS
COMMUNITY IMPROVEMENT PROGRAM EVALUATION COMMITTEE

May 19, 2017 8:30 A.M. CITY HALL ROOM 204

1. Confirmation of Minutes : January 20, 2017
2. Disclosure of Interest
3. Project Applications
 - a) Habitat for Humanity – 40 Alma Street (Residential)
 - b) George Qubty – 277 – 283 Talbot (Residential and Façade)
 - c) Grant McDonald – 37 St. Catharine Street (Residential)
4. Update : Trads
5. Update : Prespa Homes – Flora Street
6. New Business
7. Adjournment

Wendell S. Graves, MPA, CET, AMCT
City Manager



P.O. Box 520, City Hall
St. Thomas, ON N5P 3V7
Telephone: (519) 631-1680
Ext. 4120
Fax: (519) 633-9019
wgraves@stthomas.ca

May 16, 2017

SUMMARY OF CIP FUNDING REQUESTS

Habitat for Humanity – 40 Alma Street

2 Units - Residential Intensification Grant : \$5,000 per unit = \$10,000

Development Charges Rebate : \$9,160 per unit = \$18,329

Building Permit Fees

KPQ Enterprise Ltd (George Qubty) - 277 -283 Talbot

Residential Rehabilitation Grant : \$5,000 per unit / 8 units maximum = \$40,000

Development Charges Rebate – may apply to 6 units (3rd floor) @ \$4,613 / unit = \$27,678

Façade Grant : \$10,000

Building Permit Fees

2530951 Ontario Ltd. (Grant McDonald) – 37 St. Catharine Street

4 units – Residential Rehabilitation Grant : \$5,000 per unit = \$20,000

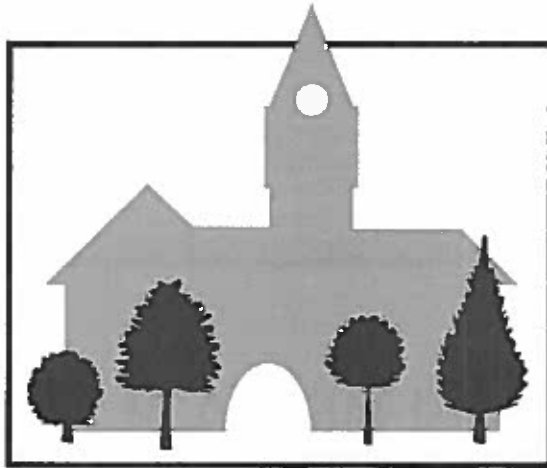
2 units – Residential Intensification Grant : \$5,000 per unit = \$10,000

2 units - Development Charges Rebate @ \$4,613 / unit = \$9,226

Building Permit Fees

APPLICATION FORM

ST. THOMAS COMMUNITY IMPROVEMENT PLAN FINANCIAL INCENTIVE PROGRAMS



THE CORPORATION OF THE CITY OF
ST. THOMAS

HERITAGE TAX RELIEF PROGRAM

HERITAGE DESIGN PROGRAM

RESIDENTIAL CONVERSION, REHABILITATION AND INTENSIFICATION PROGRAM

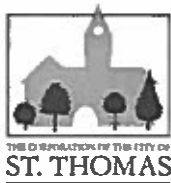
PROPERTY TAX INCREMENT GRANT PROGRAM

FAÇADE IMPROVEMENT PROGRAM

PLANNING AND BUILDING FEES PROGRAM

DEVELOPMENT CHARGES REBATE PROGRAM

PARKLAND DEDICATION EXEMPTION PROGRAM



FINANCIAL INCENTIVES PROGRAM
ST. THOMAS COMMUNITY IMPROVEMENT PLAN
SECTION 1.0 - GENERAL APPLICATION FORM

1.0 INSTRUCTIONS

- ☐ If the space provided is insufficient to respond to the question, please provide additional information on a separate page, clearly marked as to the subject question, and attach to the application form
- ☐ Please attach financial quotes, drawings or other required information as appropriate
- ☐ We recommend that the applicant keep a copy of the application form for your own records
- ☐ To ensure that the application is readable, please fill out online or print in ink
- ☐ Please ensure that the application has been signed by the property owner or authorized agent

1.1 APPLICANT AND PROPERTY INFORMATION

1.1.1 REGISTERED PROPERTY OWNER

Name:	Habitat for Humanity Heartland Ontario				
If Corporation, Signing Officer to contact:	Brian Elliot				
Mailing Address:	40 Pacific Court Unit 2				
City:	London	Province:	Ontario	Postal Code:	N5V3K4
Telephone:	519-455-6623 ext. 222	Facsimile:	519-455-8479	Email:	tdendrin@habitat4home.ca

1.1.2 AUTHORIZED AGENT (IF ANY: SEE SECTION 4.3)

Name:					
Mailing Address:					
City:		Province:		Postal Code:	
Telephone:		Facsimile:		Email:	

1.1.3 SUBJECT PROPERTY

Civic Address:	40 Alma St., St. Thomas, ON N5P 3A8
----------------	-------------------------------------

Legal Description (Lot and Plan No., Assessment Roll No.):
PIN 35176-0079, Description; Part of Lots 8 & 9 Plan 43, City of St. Thomas

Brief Description of Current Use:
Empty lot.

FINANCIAL INCENTIVE PROGRAMS

SUBJECT PROPERTY CONTINUED (1.1.3)

Are property taxes for the subject property in arrears?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Are there any outstanding orders registered against the subject property?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Are there any outstanding violations under the Fire Code?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Have grants previously been received from the City for subject property?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Please describe including total amounts of grants:

Estimated Current Market Value of Property: \$	55,000
--	--------

Please indicate source of estimate:	Cost of land purchase
-------------------------------------	-----------------------

1.2 AUTHORIZATION

If this application is to be signed by an agent or solicitor on behalf of the property owner/s, complete this section. This section should be signed by the property owners/or if held by a corporation, by a signing officer (name and position) of the corporation.

I hereby authorize _____ as agent, to act on my behalf in regard to the above application. I acknowledge that the authorized agent is to receive all correspondence and information pertaining to this application on my behalf.

Dated at Habitat for Humanity Heartland Ontario this 24th day of March, 2017

Signature of Owner/s _____

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

FINANCIAL INCENTIVE PROGRAMS

1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at Habitat for Humanity Heartland Ontario this 24th day of March, 2017

Signature of Owner/s _____

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- ☐ Heritage Tax Relief Program
- ☐ Heritage Design Program
- ☒ Planning & Building Fees Program
- ☒ Development Charges Program
- ☐ Parkland Dedication Exemption Program
- ☒ Residential Conversion, Rehabilitation and Intensification Program
- ☐ Façade Improvement Program
- ☒ Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

Habitat for Humanity Heartland Ontario's (Habitat Heartland's) vision is a world where everyone has a safe and decent place to live. We work towards this vision by mobilizing the community and volunteers to come together to build decent and affordable homes for families in need of stable housing.

Our region includes London -Middlesex, Elgin, Oxford and Stratford-Perth. Since our inception in 1993, Habitat Heartland has built 67 homes for 67 low income families. Each year we invest our efforts in a regional build. Our most recent regional builds using the same model we are replicating in St. Thomas have been successfully completed in Listowel, Woodstock and Ingersol. This year, 2017, we are focusing our efforts on building in St. Thomas. Habitat Heartland is building a semi-detached house for two low income families. This affordable homeownership project will transform an existing vacant lot into affordable housing for these two hard working families.

Habitat Heartland does not retain ownership of the homes after they are built. Homes are sold to qualified low income families that have completed our homeownership program for fair market value. The mortgages are held with Habitat so that we can offer them a zero down payment, zero interest mortgage and ensure that monthly payments are geared to their income. Habitat Heartland reviews our homeowners income every year to ensure mortgage payments remain no more than 25% of their income, so that the home remains affordable for the families. To qualify for a Habitat home, families must have a steady source of income within low income guidelines, have manageable debt and be willing to partner with Habitat and the community by completing 500 volunteer hours. Homeowners must also complete Habitat homeownership workshops that include information on budgeting and home maintenance, to prepare them for homeownership. Habitat homes are a permanent solution to a stable, affordable home for many of the families we serve.

The semi-detached house will be built on a vacant, underutilized lot on Alma St, a highly visible location on the corner of Alma St. and Kains St. This lot is located in the CASO lands community improvement area. The house has been designed with consideration to the existing streetscape and will be a visual improvement to the vacant lot.

One of the families we are building for is the Wilson Family. Tina Wilson is a single mother with two growing boys Heath 15, and Reed 13. Heath has autism, which presents some increased needs in their living situation such as a fenced in yard. The homes are built to suit the needs of the family, while remaining affordable and blending with the current neighbourhood.

A volunteer Steering Committee composed of St. Thomas residents and employees who work in the area, are currently working on fundraising to build these homes for the families. Habitat Heartland's administrative costs are covered by the revenue generated by our ReStore locations, including the ReStore location in St. Thomas. As a result, Habitat ensures that every dollar that is raised in St. Thomas goes directly towards the building costs of this project.

Affordable homeownership is a means to an end of housing instability for many families, and often is what they need to lift themselves above the poverty line. According to a survey conducted by Habitat Canada, 37% of Habitat partner families were in social housing prior to Habitat. Habitat families also reported a 60% reduction in food-bank usage after becoming Habitat homeowners. Our target market for families are families in the low income bracket who are living from pay cheque to paycheque, which is directly inline with HPHP's critical success factors in addressing unique needs of families

40 Alma St. will be a decent, semi-detached home that will provide safe and affordable housing for two low income families. This project will not only benefit the community by providing affordable homes, it will also improve the streetscape by developing a highly visible vacant lot into a newly built semi-detached residential home.

If additional space is required, please attach the additional information on a separate sheet.

FINANCIAL INCENTIVE PROGRAMS

1.6 PLEASE PROVIDE A DESCRIPTION OF FAÇADE IMPROVEMENTS (IF APPLYING FOR FAÇADE IMPROVEMENT PROGRAM) *Note: improvements must follow urban design guidelines as established by the Urban Design Study.*

If additional space is required, please attach the additional information on a separate sheet.

FINANCIAL INCENTIVE PROGRAMS

1.7 GENERAL APPLICATION QUESTIONS

1. Is your property a designated heritage building? Yes ☐ No ☒
2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes ☐ No ☒
3. What is the current status of the building? ☐ Vacant
☐ Occupied
☐ Underutilized

If other, please explain:

Vacant lot as a result of the deconstruction of a building - previously a church

4. Are you converting and/or rehabilitating this space? Yes ☐ No ☒
- If yes: a) are you creating new residential units? Yes ☐ No ☒
- b) are you rehabilitating vacant residential units? Yes ☐ No ☒
- c) are you bringing occupied residential units up to code? Yes ☐ No ☒
5. Are you intensifying and/or redeveloping this space? Yes ☒ No ☐
- If yes a) are you creating new residential units through the addition of new building space? Yes ☒ No ☐
- b) are you demolishing existing building(s) to create a new building with new residential units? Yes ☐ No ☒
- How many residential units are being added?
6. Are you adding commercial space? Yes ☐ No ☒

If yes, please provide the square footage

7. Please specify the financial incentives you are interested in if applying for the following programs:

a) Residential Conversion, Rehabilitation and Intensification Program

Grant ☒ Loan ☐ Both ☐

b) Façade Improvement Program

Grant ☐ Loan ☐ Both ☐

FINANCIAL INCENTIVE PROGRAMS

8. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (Note: Side and rear façade improvements are eligible only if the public view of the building is significant)

Front Façade ☐

Side Façade ☐

Rear Façade ☐

9. Is your property located in one of the CIP Areas? Yes ☒ No ☐

If yes, please specify area.

10. Estimated Total Construction Cost for the Residential project:

11. Estimated Total Construction Cost for Façade Improvement:

12. Estimated Total Design and Other Professional Costs:

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the Building Permit Value for Construction costs and actual receipts for Design and Professional costs).

13. Have you made an application for a Building Permit pertaining to the work proposed? Yes ☐ No ☒

No.	DATE	REVISIONS	BY
•	•	•	•
•	•	•	•
•	•	•	•

Name:		SEMI-DETACHED		Lot/Location:		40 ALMA ST. - ST. THOMAS	
Drown:		DDD	Designed:		Scale:	Date:	
Total Sq. Ft.		-	Drawing:		RIGHT ELEVATION		

<u>SYMBOL LEGEND</u>	
☒	Denotes solid support to foundation.
⊕ S/C	Denotes smoke detector / Carbon Monoxide Detector (interconnect of units in the homes.)
⊕ S/D	Denotes smoke detector (interconnect all units in the homes.)
⊙	Denoted exhaust fan (vent to exterior via a min horizontal run of 3-4 feet.
⌘ F.D.	Denotes floor drain.
×	Denotes point load from above
⊗	Denotes attic access hatch 20" x 28" w/ insulation and weathersstripping
LSL	Indicates "TIMBERSTRAND" structural member
PSL	Indicates "PARALLAN" structural member





519-439-6282

550 LINDA SERVICE DRIVE
LAKESHORE, ONTARIO
M2Z 1P4

www.edenhall.ca

design by
architectural
design - drafting

No.	DATE
REVISIONS	
BY	

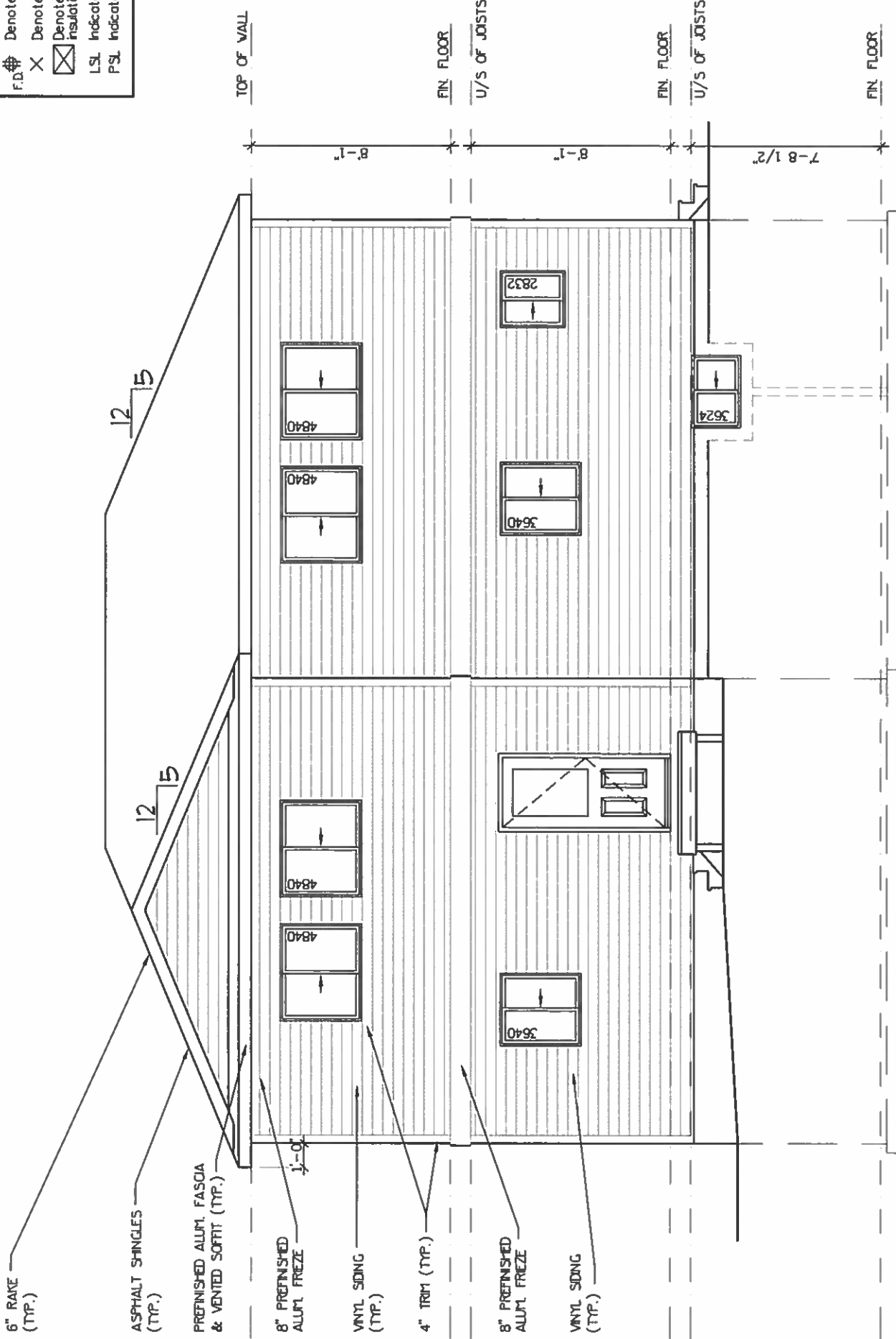
Do not scale drawings. Work to dimensions shown.
The Contractor and all sub-trades must check their dimensions and details prior to start of their work.
Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

Name:	40 ALMA ST. - ST. THOMAS
Lot/Location:	
Drawn:	DD
Designed:	
Scale:	
Date:	Jan./17
Drawing:	REAR ELEVATION
Total Sq. Ft.	-

File Number	17002
Sheet:	3 OF 12

ARCHITECTURAL SYMBOL LEGEND

- Denotes solid support to foundation.
- Denotes smoke detector / Carbon Monoxide Detector (interconnect all units in the homes.)
- Denotes smoke detector (interconnect all units in the homes.)
- Denoted exhaust fan (vent to exterior with a min horizontal run of 3-4 feet.)
- Denotes floor drain.
- Denotes point load from above
- Denotes attic access hatch 20"x28" w/ insulation and weatherstripping
- LSI Indicates 'TIMBERSTRAND' structural member
- PSJ Indicates 'PARALLAM' structural member



WEST ELEVATION



WEST ELEVATION

No.	DATE	REVISIONS

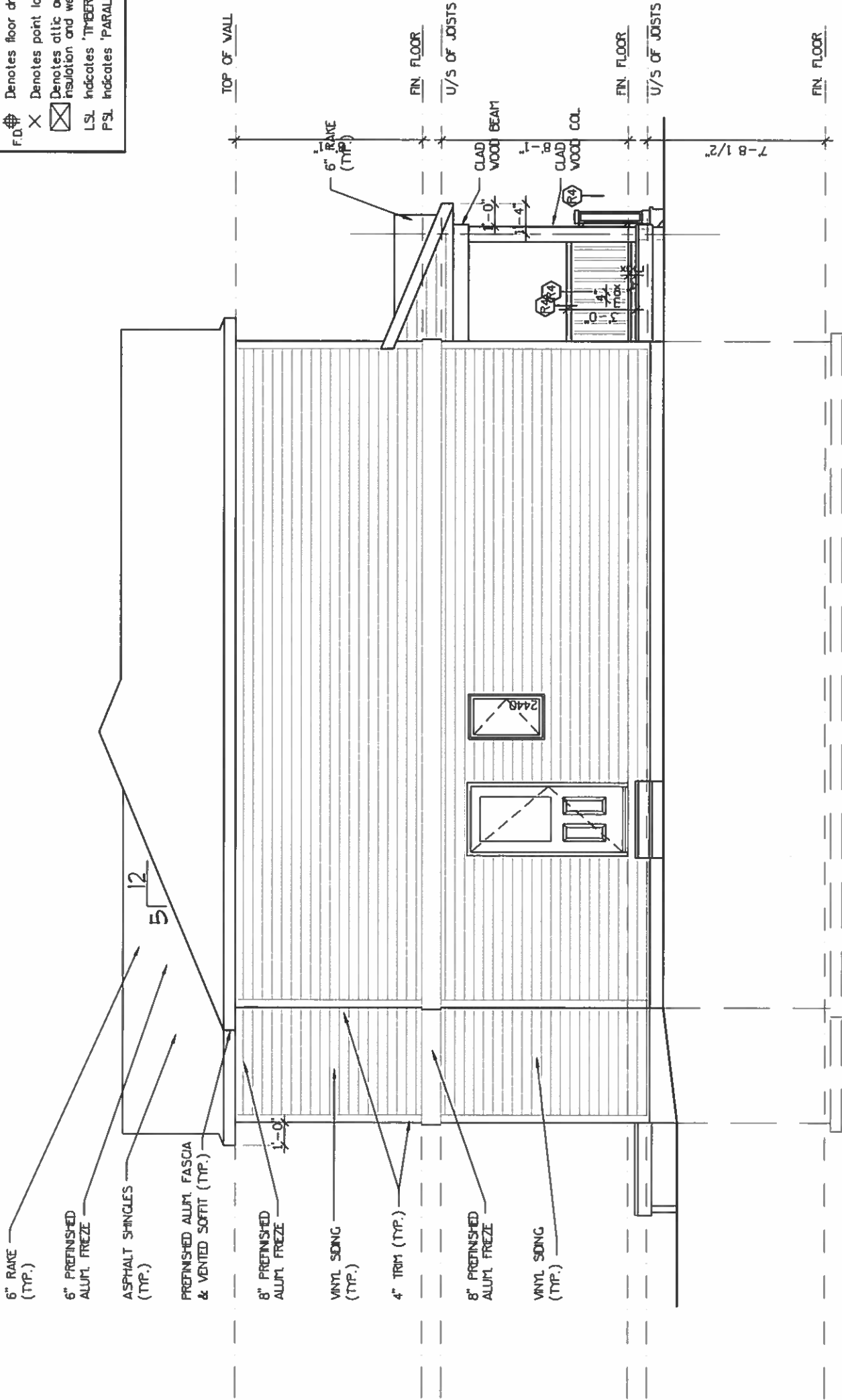
Do not scale drawings. Work to dimensions shown.
The Contractor and all sub-trades must check their dimensions and details prior to start of their work.
Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

Name:	40 ALMA ST. - ST. THOMAS
Lot/Location:	
Drawn: DDD	Designed/Scale: -
Total Sq. Ft. -	Drawing: LEFT ELEVATION

Date: Jan/17
File Number 17002
Sheet: 4 OF 12

ARCHITECTURAL SYMBOL LEGEND

- Denotes solid support to foundation.
- Denotes smoke detector / Carbon Monoxide Detector (interconnect all units in the homes.)
- Denotes smoke detector (interconnect all units in the homes.)
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- LSL Indicates 'TIMBERSTRAND' structural member
- PSL Indicates 'PARALLAM' structural member



APPLICATION FORM

ST. THOMAS COMMUNITY IMPROVEMENT PLAN FINANCIAL INCENTIVE PROGRAMS



THE CORPORATION OF THE CITY OF
ST. THOMAS

HERITAGE TAX RELIEF PROGRAM

HERITAGE DESIGN PROGRAM

RESIDENTIAL CONVERSION, REHABILITATION AND INTENSIFICATION PROGRAM

PROPERTY TAX INCREMENT GRANT PROGRAM

FAÇADE IMPROVEMENT PROGRAM

PLANNING AND BUILDING FEES PROGRAM

DEVELOPMENT CHARGES REBATE PROGRAM

PARKLAND DEDICATION EXEMPTION PROGRAM



FINANCIAL INCENTIVES PROGRAM
ST. THOMAS COMMUNITY IMPROVEMENT PLAN
SECTION 1.0 - GENERAL APPLICATION FORM

1.0 INSTRUCTIONS

- ☐ If the space provided is insufficient to respond to the question, please provide additional information on a separate page, clearly marked as to the subject question, and attach to the application form
- ☐ Please attach financial quotes, drawings or other required information as appropriate
- ☐ We recommend that the applicant keep a copy of the application form for your own records
- ☐ To ensure that the application is readable, please fill out online or print in ink
- ☐ Please ensure that the application has been signed by the property owner or authorized agent

1.1 APPLICANT AND PROPERTY INFORMATION

1.1.1 REGISTERED PROPERTY OWNER

Name:	KRQ Enterprises Ltd				
If Corporation, Signing Officer to contact:	George Qubty and Ashraf El Khodeir				
Mailing Address:	P O Box 502 - Lambeth Station				
City:	london	Province:	ontario	Postal Code:	N6P 1R2
Telephone:	5196192006	Facsimile:		Email:	gqubty1@gmail.com277

1.1.2 AUTHORIZED AGENT (IF ANY: SEE SECTION 4.3)

Name:					
Mailing Address:					
City:		Province:		Postal Code:	
Telephone:		Facsimile:		Email:	

1.1.3 SUBJECT PROPERTY

Civic Address:	277 283 Talbot Street -St Thomas N5P 1H5
----------------	--

Legal Description (Lot and Plan No., Assessment Roll No.):
Plan 15 ,S1/2 Lot 4,N/S Talbot W/s PEARL

Brief Description of Current Use:
Attached description

SUBJECT PROPERTY CONTINUED (1.1.3)

Are property taxes for the subject property in arrears? Yes ☐ No ☒

Are there any outstanding orders registered against the subject property? Yes ☐ No ☒

Are there any outstanding violations under the Fire Code? Yes ☐ No ☒

Have grants previously been received from the City for subject property? Yes ☐ No ☒

Please describe including total amounts of grants:

Residential rehabilitation of two floors ,into residential units .Grant requested is \$40,000-See details

Estimated Current Market Value of Property: \$ \$250,000

Please indicate source of estimate: Tax assessment

1.2 AUTHORIZATION

If this application is to be signed by an agent or solicitor on behalf of the property owner/s, complete this section. This section should be signed by the property owners/or if held by a corporation, by a signing officer (name and position) of the corporation.

I hereby authorize _____ as agent, to act on my behalf in regard to the above application. I acknowledge that the authorized agent is to receive all correspondence and information pertaining to this application on my behalf.

Dated at St Thomas this 9th day of March , 2017

Signature of Owner/s _____

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at St Thomas this 9th day of March, 2017

Signature of Owner/s _____

Signature of Witness _____

(Print Name), George Qubty & Ashraf El Khodeir a duly authorized Commissioner of Oaths

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- ☐ Heritage Tax Relief Program
- ☐ Heritage Design Program
- ☒ Planning & Building Fees Program
- ☒ Development Charges Program
- ☐ Parkland Dedication Exemption Program
- ☒ Residential Conversion, Rehabilitation and Intensification Program
- ☐ Façade Improvement Program
- ☒ Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

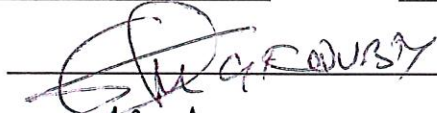

1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at St Thomas this 9th day of March, 2017

Signature of Owner/s

Signature of Witness

(Print Name), George Qubty & Ashraf El Khodeir a duly authorized Commissioner of Oaths

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- ☐ Heritage Tax Relief Program
- ☐ Heritage Design Program
- ☒ Planning & Building Fees Program
- ☒ Development Charges Program
- ☐ Parkland Dedication Exemption Program
- ☒ Residential Conversion, Rehabilitation and Intensification Program
- ☐ Façade Improvement Program
- ☒ Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

277 283 TALBOT ST, ST. THOMAS

Property Current status:

Talbot Street west end 3 storey commercial building consisting of 3 levels.

Front main floor – Commercial three store fronts consisting of showrooms and Office space.

Upper, first floor level have not been occupied for several years and were formerly used as 6 apartments- Currently uninhabitable.

Upper, Second floor level is designed as a meeting Hall

Attached existing layout and pictures of the space.

With the assistance of the Grant ;

We are intending to rehabilitation the current 6 residential units which are uninhabitable to renovate these units and bring to the current code .

The second part of this project will be the conversion of the top floor to create an additional 4 to 6 residential units .

Amount of Grant requested is \$40,000

Attached an outline of the scope of work and cost related to this.

If additional space is required, please attach the additional information on a separate sheet.

1.6 PLEASE PROVIDE A DESCRIPTION OF FAÇADE IMPROVEMENTS (IF APPLYING FOR FAÇADE IMPROVEMENT PROGRAM) *Note: improvements must follow urban design guidelines as established by the Urban Design Study.*

See Other Application

If additional space is required, please attach the additional information on a separate ~~sheet~~.

1.7 GENERAL APPLICATION QUESTIONS

1. Is your property a designated heritage building? Yes ☐ No ☒
2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes ☐ No ☒
3. What is the current status of the building?
- ☒ Vacant
- ☐ Occupied
- ☒ Underutilized

If other, please explain:

Upper floors are vacant

4. Are you converting and/or rehabilitating this space? Yes ☒ No ☒
- If yes: a) are you creating new residential units? Yes ☒ No ☐
- b) are you rehabilitating vacant residential units? Yes ☒ No ☐
- c) are you bringing occupied residential units up to code? Yes ☒ No ☐
5. Are you intensifying and/or redeveloping this space? Yes ☒ No ☐

If yes a) are you creating new residential units through the addition of new building space?

Yes ☐ No ☒

b) are you demolishing existing building(s) to create a new building with new residential units?

Yes ☐ No ☒

How many residential units are being added?

4 units

6. Are you adding commercial space? Yes ☐ No ☒

If yes, please provide the square footage

7. Please specify the financial incentives you are interested in if applying for the following programs:

a) Residential Conversion, Rehabilitation and Intensification Program

Grant ☒ Loan ☐ Both ☐

b) Façade Improvement Program

Grant ☐ Loan ☐ Both ☐

FINANCIAL INCENTIVE PROGRAMS

8. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (*Note: Side and rear façade improvements are eligible only if the public view of the building is significant*)

Front Façade ☐

Side Façade ☐

Rear Façade ☐

9. Is your property located in one of the CIP Areas? Yes ☒ No ☐

If yes, please specify area.

10. Estimated Total Construction Cost for the Residential project:

11. Estimated Total Construction Cost for Façade Improvement:

12. Estimated Total Design and Other Professional Costs:

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the Building Permit Value for Construction costs and actual receipts for Design and Professional costs).

13. Have you made an application for a Building Permit pertaining to the work proposed? Yes ☐ No ☒

277 283 TALBOT ST, ST. THOMAS

Property Overview

Talbot Street west end 3 storey commercial building consisting of 3 levels.

Front main floor – Commercial three store fronts consisting of showrooms and Office space.

Upper, first floor level have not been occupied for several years and were formerly used as 6 apartments

Upper, Second floor level is designed as a meeting Hall.

Attached Pictures of the current situation inside the upper two floors..



277 283 TALBOT ST, ST. THOMAS

Pictures of current conditions- Internal

Upper Floor – First level – Apartments



277 283 TALBOT ST, ST. THOMAS

Pictures of current conditions- Internal

Upper Floor – Second level – Hall



277 283 TALBOT ST, ST. THOMAS

PROPOSED WORK SCOPE and COST BREAKDOWN

1- Upper, first floor level :

Rehabilitation of the space, to upgrade the current 6 apartments: –
Based on three (two bedroom) units and three (one bedroom) units.
These units will be renovated to meet the required living and safety standards and codes.

For each unit:

- Provide complete new bathroom in each unit, consisting of WC, Bathtub and vanity.
- Provide new kitchen cabinets, sink and cooking/oven range.
- Complete all new electric wiring, lighting and fire alarms system with a separate new electrical panel in each unit.
- New electrical heating system with thermostat for each apartment.
- Apply foam insulation on all the exterior, currently all the exterior walls have no insulation. This will provide a minimum R12 insulation and fully sealed vapour barrier.
- Provide and construct all required framing, walls, doors, closets and trims.
- Provide and lay down new floors.
- Work will include all required upgrades of the main hallway and stairs.

2- Upper, Second floor level :

Modify the second upper floor space and the area will be upgraded to have to four apartments.

These units will be renovated to meet the required living and safety standards and codes.

For each unit:

- Provide complete new bathroom in each unit, consisting of WC, Bathtub and vanity.
- Provide new kitchen cabinets, sink and cooking/oven range.
- Complete all new electric wiring, lighting and fire alarms system with a separate new electrical panel in each unit.
- New electrical heating system with thermostat for each apartment.
- Apply foam insulation on all the exterior, currently all the exterior walls have no insulation. This will provide a minimum R12 insulation and fully sealed vapour barrier.
- Provide and construct all required framing, walls, doors, closets and trims.
- Provide and lay down new floors in both the apartments and main hallway.

Cost Breakdown is as follows:

1- Demolition and cleaning works	\$ 3,000
2- Framing and architectural works.....	\$ 8,000
3- Exterior walls foam insulation	\$ 6,000
4- Electrical and heating works.....	\$ 36,000
5- Plumbing and related piping works.....	\$ 45,000
6- Drywall installation ,mudding and tapping	\$ 42,000
7- Doors ,closets and other trims	\$ 28,000
8- Kitchen cabinets installation.....	\$32,000
9- Painting and final finishing works.....	\$12,000
10-Flooring and baseboard trim.....	\$32,000
11-Final fixtures installation and placing of appliances	\$ 12,000

Total	\$256,000

APPLICATION FORM

ST. THOMAS COMMUNITY IMPROVEMENT PLAN FINANCIAL INCENTIVE PROGRAMS



THE CORPORATION OF THE CITY OF
ST. THOMAS

HERITAGE TAX RELIEF PROGRAM

HERITAGE DESIGN PROGRAM

RESIDENTIAL CONVERSION, REHABILITATION AND INTENSIFICATION PROGRAM

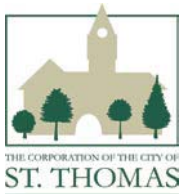
PROPERTY TAX INCREMENT GRANT PROGRAM

FAÇADE IMPROVEMENT PROGRAM

PLANNING AND BUILDING FEES PROGRAM

DEVELOPMENT CHARGES REBATE PROGRAM

PARKLAND DEDICATION EXEMPTION PROGRAM



FINANCIAL INCENTIVES PROGRAM
ST. THOMAS COMMUNITY IMPROVEMENT PLAN
SECTION 1.0 - GENERAL APPLICATION FORM

1.0 INSTRUCTIONS

- ☐ If the space provided is insufficient to respond to the question, please provide additional information on a separate page, clearly marked as to the subject question, and attach to the application form
- ☐ Please attach financial quotes, drawings or other required information as appropriate
- ☐ We recommend that the applicant keep a copy of the application form for your own records
- ☐ To ensure that the application is readable, please fill out online or print in ink
- ☐ Please ensure that the application has been signed by the property owner or authorized agent

1.1 APPLICANT AND PROPERTY INFORMATION

1.1.1 REGISTERED PROPERTY OWNER

Name:	KRQ Enterprises Ltd				
If Corporation, Signing Officer to contact:	George Qubty & Ashraf El Khodeir				
Mailing Address:	P.O. Box 502				
City:	London	Province:	Ontario	Postal Code:	N6P 1R2
Telephone:	5196192006	Facsimile:		Email:	gqubty1@gmail.com

1.1.2 AUTHORIZED AGENT (IF ANY: SEE SECTION 4.3)

Name:					
Mailing Address:					
City:		Province:		Postal Code:	
Telephone:		Facsimile:		Email:	

1.1.3 SUBJECT PROPERTY

Civic Address:	277 283 Talbot Street St Thomas N5P 1H5
----------------	---

Legal Description (Lot and Plan No., Assessment Roll No.):
Plan 15,S1/2 Lot 4,N/S Talbot W/s Pearl

Brief Description of Current Use:
See Attached

SUBJECT PROPERTY CONTINUED (1.1.3)

Are property taxes for the subject property in arrears?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Are there any outstanding orders registered against the subject property?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Are there any outstanding violations under the Fire Code?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Have grants previously been received from the City for subject property?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Please describe including total amounts of grants:

Improve building front facade - Grant requested \$10,000 -see attached details

Estimated Current Market Value of Property: \$	250,000
--	---------

Please indicate source of estimate:	tax assessment
-------------------------------------	----------------

1.2 AUTHORIZATION

If this application is to be signed by an agent or solicitor on behalf of the property owner/s, complete this section. This section should be signed by the property owners/or if held by a corporation, by a signing officer (name and position) of the corporation.

I hereby authorize _____ as agent, to act on my behalf in regard to the above application. I acknowledge that the authorized agent is to receive all correspondence and information pertaining to this application on my behalf.

Dated at St Thomas this 9th day of March, 2017

Signature of Owner/s _____

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at St Thomas this 9th day of March, 2017

Signature of Owner/s _____

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- ☐ Heritage Tax Relief Program
- ☐ Heritage Design Program
- ☐ Planning & Building Fees Program
- ☐ Development Charges Program
- ☐ Parkland Dedication Exemption Program
- ☐ Residential Conversion, Rehabilitation and Intensification Program
- ☒ Façade Improvement Program
- ☐ Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at St Thomas this 9th day of March, 2017

Signature of Owner/s 

Signature of Witness _____

(Print Name), _____ a duly authorized Commissioner of Oaths

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- ☐ Heritage Tax Relief Program
- ☐ Heritage Design Program
- ☐ Planning & Building Fees Program
- ☐ Development Charges Program
- ☐ Parkland Dedication Exemption Program
- ☐ Residential Conversion, Rehabilitation and Intensification Program
- ☒ Façade Improvement Program
- ☐ Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

If additional space is required, please attach the additional information on a separate sheet.

1.6 PLEASE PROVIDE A DESCRIPTION OF FAÇADE IMPROVEMENTS (IF APPLYING FOR FAÇADE IMPROVEMENT PROGRAM) *Note: improvements must follow urban design guidelines as established by the Urban Design Study.*

277 283 TALBOT ST, ST. THOMAS

Property Current status:

Talbot Street west end 3 storey commercial building consisting of 3 levels.
Front main floor – Commercial three store fronts consisting of showrooms and Office space.
Currently the building facade does not reflect the appearance of the Down town of Old St. Thomas and has been modified over the years by the various owners .

Project intent to improve the building Facade to reflect as much as possible ,the status of the Old St. Thomas Downtown look and reserve and reflect the historical value of the building.
Attached Pictures of the current building facade .
Most of the facade/brick was painted with an epoxy type paint ,which in a way have reserved the integrity of the brick and the building .

Attached a proposed design and a description of the works and materials that intended to done to achieve this goal with the assistance of the Grant of \$10,000
Attached an outline of the scope of work and cost breakdown .

If additional space is required, please attach the additional information on a separate sheet.

1.7 GENERAL APPLICATION QUESTIONS

1. Is your property a designated heritage building? Yes ☐ No ☒
2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes ☐ No ☒
3. What is the current status of the building?
- ☐ Vacant
- ☒ Occupied
- ☒ Underutilized

If other, please explain:

Upper Floors are vacant

4. Are you converting and/or rehabilitating this space? Yes ☒ No ☐
- If yes: a) are you creating new residential units? Yes ☒ No ☐
- b) are you rehabilitating vacant residential units? Yes ☒ No ☐
- c) are you bringing occupied residential units up to code? Yes ☒ No ☐
5. Are you intensifying and/or redeveloping this space? Yes ☒ No ☐

If yes a) are you creating new residential units through the addition of new building space?

Yes ☐ No ☒

b) are you demolishing existing building(s) to create a new building with new residential units?

Yes ☐ No ☒

How many residential units are being added?

6. Are you adding commercial space? Yes ☐ No ☒

If yes, please provide the square footage

7. Please specify the financial incentives you are interested in if applying for the following programs:

a) Residential Conversion, Rehabilitation and Intensification Program

Grant ☐ Loan ☐ Both ☐

b) Façade Improvement Program

Grant ☒ Loan ☐ Both ☐

FINANCIAL INCENTIVE PROGRAMS

8. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (*Note: Side and rear façade improvements are eligible only if the public view of the building is significant*)

Front Façade ☒

Side Façade ☒

Rear Façade ☐

9. Is your property located in one of the CIP Areas? Yes ☒ No ☐

If yes, please specify area.

10. Estimated Total Construction Cost for the Residential project: \$

11. Estimated Total Construction Cost for Façade Improvement: \$

12. Estimated Total Design and Other Professional Costs: \$

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the Building Permit Value for Construction costs and actual receipts for Design and Professional costs).

13. Have you made an application for a Building Permit pertaining to the work proposed? Yes ☐ No ☒

277 283 TALBOT ST, ST. THOMAS

FAÇADE Improvement Application

Property Overview

Talbot Street west end 3 storey commercial building consisting of 3 levels.

Front main floor – Commercial three store fronts consisting of showrooms and Office space.

Upper, first floor level have not been occupied for several years and were formerly used as 6 apartments

Upper, Second floor level is designed as a meeting Hall.



277 283 TALBOT ST, ST. THOMAS

FAÇADE Improvement Application

Historical Background

St. George to Pearl



28 North Side St. George to Pearl

277 Talbot Street

The McLarty Block

Built in 1879
Drs. Duncan and Colin McLarty's first
block of buildings on Talbot Street.
This building has been well cared for over

the years and is easily recognized by the
name plate on the building, as well as the
Masonic symbol of the square and
compass at the third storey level.

The two brothers were partners in medical
practice for 25 years.



Photo from L.I.C. collection 2010

- 2000 Roy Inch and Sons
- 1995 Roy Inch and Sons
- 1990 Lois' Hair Styles
- 1975 Lois' Hair Fashions
- 1970 Lois' Hair Fashions
- 1965 G.S. McLachlan
- 1960 McLachlan Furniture
- 1955 Roy Inch and Sons
- 1950 Roy Inch and Sons
- 1945 D.P. McGill Fruit Store
- 1920 D.P. McGill Fruit Store
- 1915 F. Spagnoli Fruit Store
- 1910 J.C. Lang Tea and Coffee
- 1905 warehouse
- 1900 Hepinstall Jewellers
- 1895 Hepinstall Jewellers
- 1890 Hepinstall Jewellers
- 1885 Maggie Bateman Dressmaker
- 1880 Daniel Ferguson Shoemaker
- D.B.S. Crothers Barrister
- 279-281 Daniel Ferguson Boots and Shoes

The boot and shoe store here employed
four staff to assist customers. M.D.
Ferguson had served as a alderman for
four years. By 1890 this business had
operated for over 23 years.

277 283 TALBOT ST, ST. THOMAS

FAÇADE Improvement Application

Current Status of FAÇADE







277 283 TALBOT ST, ST. THOMAS

FAÇADE IMPROVEMENT

PROPOSED WORK SCOPE and COST BREAKDOWN

As per the attached design for the building front elevation.

- 1- Main Floor – Commercial showrooms :
Remove the existing stone veneer and replace it with stone cladding in the areas as indicated on the proposed sketch.
Catalogue and sample will be available to submit before any work is done.
- 2- All glass front frames will be painted with the same dark bronze colour.
- 3- Entrance to the residential units:
Create a Grand Arch, with two columns at the residential door entrance.
Replace the door as indicated on the sketch.
Provide large numbers in dark black or dark blue colours to address the building.
- 4- Provide boarding to cover the upper section of the commercial windows, as indicated on the sketch .This backing board will be treated and painted, this will act as the backing of any of the business signage.
Goose neck traditional style lights will installed to illuminate the signs, as shown on the submitted sketch.
- 5- Provide the same boarding style on top of the building to address the looks and the building original details and features.
- 6- Apply three different and comparable colours paint to cover the existing structure, one colour to highlight the original building façade features of vertical members as indicated in the proposed sketch.
- 7- All current yellow canopies will be removed and new glass windows will be installed in the upper floor, with fixed glass at arch sections on top of each window as indicated.

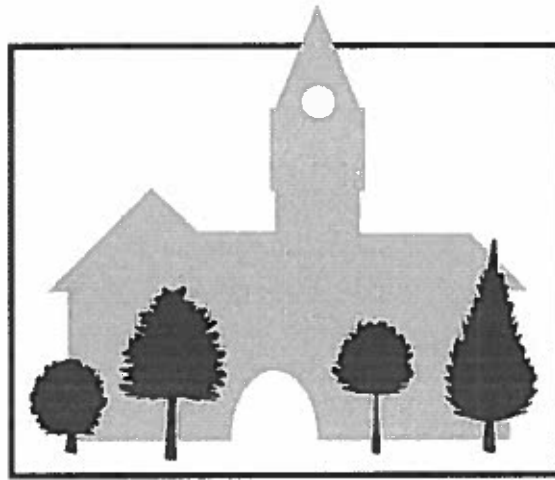
Cost Breakdown is as follows:

1- Front stone cladding	\$ 4,000
2- Signs backing boarding and building top boarding	\$ 5,000
3- Showrooms window frame painting	\$ 1,000
4- Residential Entrance and main door.....	\$3,000
5- Electrical lights top of the signs.....	\$ 2,500
6- Windows supply and installation	\$ 8,000
7- Painting works as described	\$ 7,600
<hr/>	
Total	\$30,500

APPLICATION FORM

ST. THOMAS COMMUNITY IMPROVEMENT PLAN

FINANCIAL INCENTIVE PROGRAMS



THE CORPORATION OF THE CITY OF
ST. THOMAS

HERITAGE TAX RELIEF PROGRAM

HERITAGE DESIGN PROGRAM

RESIDENTIAL CONVERSION, REHABILITATION AND INTENSIFICATION PROGRAM

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FINANCIAL INCENTIVES PROGRAM
ST. THOMAS COMMUNITY IMPROVEMENT PLAN
SECTION 1.0 - GENERAL APPLICATION FORM

1.0 INSTRUCTIONS

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- ☐ We recommend that the applicant keep a copy of the application form for your own records
- ☐ To ensure that the application is readable, please fill out online or print in ink
- ☐ Please ensure that the application has been signed by the property owner or authorized agent

1.1 APPLICANT AND PROPERTY INFORMATION

1.1.1 REGISTERED PROPERTY OWNER

Name:	2530951 Ontario Inc.				
If Corporation, Signing Officer to contact:	Grant McDonald				
Mailing Address:	4-63 Metcalfe Street				
City:	St. Thomas	Province:	ON	Postal Code:	N5R 3K5
Telephone:	519-868-4370	Facsimile:		Email:	Grant@Valleyburn.ca

1.1.2 AUTHORIZED AGENT (IF ANY: SEE SECTION 4.3)

Name:	Grant McDonald (Director, 2530951 Ontario Inc.)				
Mailing Address:	4-63 Metcalfe Street				
City:	St. Thomas	Province:	ON	Postal Code:	N5R 3K5
Telephone:	519-868-4370	Facsimile:		Email:	Grant@Valleyburn.ca

1.1.3 SUBJECT PROPERTY

Civic Address:	37 St. Catharine Street, St. Thomas, ON, N5P 2V7
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Legal Description (Lot and Plan No., Assessment Roll No.):
PLAN 43 PART LOT 8

Brief Description of Current Use:
Vacant 4-Plex, currently under construction. Has been vacant for 2+ years. C3 Zoning. All proper permits are in place to finalize the existing four (4) units. Opportunity for intensification, developing the basement and attic into two (2) additional residential units.

FINANCIAL INCENTIVE PROGRAMS

SUBJECT PROPERTY CONTINUED (1.1.3)

Are property taxes for the subject property in arrears? Yes _____ No ☒

Are there any outstanding orders registered against the subject property? Yes _____ No ☒

Are there any outstanding violations under the Fire Code? Yes _____ No ☒

Have grants previously been received from the City for subject property? Yes _____ No ☒

Please describe including total amounts of grants:

N/A

Estimated Current Market Value of Property: \$ 210,000

Please indicate source of estimate: Purchase Price \$195,000 + \$15,000 in Renovations

1.2 AUTHORIZATION

If this application is to be signed by an agent or solicitor on behalf of the property owner/s, complete this section. This section should be signed by the property owners/or if held by a corporation, by a signing officer (name and position) of the corporation.

I hereby authorize Grant McDonald as agent, to act on my behalf in regard to the above application. I acknowledge that the authorized agent is to receive all correspondence and information pertaining to this application on my behalf.

Dated at St. Thomas this 16th day of May, 2017

Signature of Owner/s (Signature)
Grant McDonald, Director,

2530951 Ontario Inc.

Signature of Witness (Signature)

(Print Name), Jon Hindley a duly authorized Commissioner of Oaths

JONATHON DARYL HINDLEY, a Commissioner, etc.,
Province of Ontario, for the Corporation of the City of St. Thomas.
Expires March 23, 2018.


JONATHON DARYL HINDLEY, a Commissioner, etc.,
Province of Ontario, for the Corporation of the City of St. Thomas.
Expires March 23, 2018.

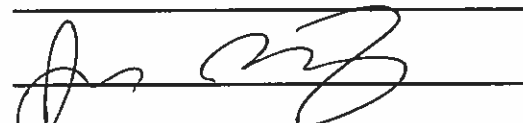
1.3 APPLICANT AGREEMENT

I/We hereby certify that the information given herein is true, correct and complete in every respect and understand that the City reserves the right to verify any information contained herein. I/We agree to the terms and conditions of the programs for which the application is being made.

This section should be signed by the property owner/s, agent or if held by a corporation, by a signing officer (name and position) of the corporation.

Dated at St. Thomas this 16th day of May, 2017

Signature of Owner/s 
Grant McDonald, Director,
2530951 Ontario Inc.

Signature of Witness 
Grant McDonald
 (Print Name), Jon Hindley a duly authorized Commissioner of Oaths

JONATHON DARYL HINDLEY, a Commissioner, etc.,
 Province of Ontario, for the Corporation of the City of St. Thomas.
 Expires March 23, 2018.

1.4 PROGRAM CHECK LIST

Please place a check next to the programs that you are applying for:

- ☐ Heritage Tax Relief Program
- ☐ Heritage Design Program
- ☐ Planning & Building Fees Program
- ☐ Development Charges Program
- ☐ Parkland Dedication Exemption Program
- ☒ Residential Conversion, Rehabilitation and Intensification Program
- ☐ Façade Improvement Program
- ☐ Property Tax Increment Equivalent Grant Program

Fill out the following sections with regard to the programs you are applying for.

1.5 DESCRIPTION OF PROPOSED RESIDENTIAL IMPROVEMENT PROJECT (IF APPLYING FOR RESIDENTIAL IMPROVEMENT PROGRAMS)

Proposal for Rehabilitation & Intensification at 37 St. Catharine Street, St. Thomas

Phase 1: Rehabilitation (IN PROGRESS)

- This subject property, located downtown St. Thomas, has been vacant and gutted for approximately 2-3 years, with renovations at a complete stand-still. I have purchased the property from the previous owner in early 2017 to complete the existing 4-plex renovation.
- Project Estimate: \$110,000
- Permits for the 4-plex renovation have successfully been transferred (Permit # 2017-87, Transfer #14-007), and I have been working closely with Chris Peck, Jamie Yolkowskie, and Sandy Lale to ensure the proper steps are taken to keep this project moving forward, while adhering to the approved designs (See Exhibit A) from the previous owner.
- Currently, there are two (2) residential units per floor. All four (4) units have been reframed, wired, ducted, and the plumbing is roughed in.
- With the assistance from the rehabilitation component of the Building Revitalization Program, I'm looking forward to the next stages of this project, including; updating water mains/meters, spray-foam insulation, roof repairs, new windows/doors, drywall, paint, fixtures and finishes.

PHASE 2: Intensification

- In addition to the existing 4-units, there is an opportunity to add two (2) additional units to the existing footprint of the property, by developing the basement and attic into usable living space.
- Project Estimate: \$100,000
- Permits have not yet been applied for.
- Preliminary designs have just been completed by the engineering firm DC Buck Engineering (See Exhibit B), to assess feasibility based on building layout and building code requirements. The attic space would consist of one (1) bachelor apartment. Both front & back dormers will need to be resized, along with the addition of two dormers on each side of the roof to allow sufficient square footage and head room. Modifications to the joists will also be required to withstand additional weight requirements.
- The basement space will consist of one (1) one-bedroom apartment. The framing on the exterior walls of the basement has been framed in by the previous owner. Alterations to a support beam will be required in order to meet ceiling height requirements.
- With the assistance from the intensification component of the Building Revitalization Program, I'm looking forward to the next stages of this project, including; permitting, finalizing the design, framing/plumbing/electrical/HVAC rough-ins, proper drainage, insulation, new dormers, windows/doors, drywall, paint, fixtures and finishes.

Thank you very much for your consideration of this project. Together, I hope that we can continue to revitalize the downtown area through the increased supply of safe, clean, and desirable rental apartments.

If additional space is required, please attach the additional information on a separate sheet.

1.6 PLEASE PROVIDE A DESCRIPTION OF FAÇADE IMPROVEMENTS (IF APPLYING FOR FAÇADE IMPROVEMENT PROGRAM) *Note: improvements must follow urban design guidelines as established by the Urban Design Study.*

N/A

If additional space is required, please attach the additional information on a separate sheet.

1.7 GENERAL APPLICATION QUESTIONS

1. Is your property a designated heritage building? Yes _____ No ☒
2. Is your property listed by the local Municipal Heritage Committee as a building of historic or architectural value? Yes _____ No ☒
3. What is the current status of the building?
☒ Vacant
 _____ Occupied
☒ Underutilized

If other, please explain:

4. Are you converting and/or rehabilitating this space? Yes ☒ No _____

If yes: a) are you creating new residential units?

Yes ☒ No _____

b) are you rehabilitating vacant residential units?

Yes ☒ No _____

c) are you bringing occupied residential units up to code?

Yes _____ No _____

5. Are you intensifying and/or redeveloping this space?

Yes ☒ No _____

If yes a) are you creating new residential units through the addition of new building space?

Yes ☒ No _____

b) are you demolishing existing building(s) to create a new building with new residential units?

Yes _____ No ☒

How many residential units are being added?

6. Are you adding commercial space?

Yes _____ No ☒

If yes, please provide the square footage

7. Please specify the financial incentives you are interested in if applying for the following programs:

a) Residential Conversion, Rehabilitation and Intensification Program

Grant ☒ Loan _____ Both _____

b) Façade Improvement Program

Grant _____ Loan _____ Both _____

FINANCIAL INCENTIVE PROGRAMS

8. If you are applying for the Façade Improvement Program, please specify what part of the building you are making improvements on? (*Note: Side and rear façade improvements are eligible only if the public view of the building is significant*)

Front Façade _____

Side Façade _____

Rear Façade _____

9. Is your property located in one of the CIP Areas? Yes ☒ No ☐

If yes, please specify area.

10. Estimated Total Construction Cost for the Residential project:
11. Estimated Total Construction Cost for Façade Improvement:
12. Estimated Total Design and Other Professional Costs:

(Note: You will be given estimates for funding on grants and loans based on the above estimates. The final calculations of grants and loans will be based on the Building Permit Value for Construction costs and actual receipts for Design and Professional costs).

13. Have you made an application for a Building Permit pertaining to the work proposed? Yes ☒ No ☒