

THE CORPORATION OF THE CITY OF ST. THOMAS
AGENDA
THE TENTH MEETING OF THE MUNICIPAL HERITAGE COMMITTEE

COMMITTEE
ROOM #304

5:30 P.M.

October 30, 2018

This special meeting was called to deal with the following items.

NEW BUSINESS

Heritage Alteration Permit - 244-248 Talbot Street W. Pages 2-13

UNFINISHED BUSINESS

Heritage Alteration Permit - 519 & 523 Talbot Street W. Pages 15-35
- Revised drawing **Page 14**

Heritage Alteration Permit - 389 & 393 Talbot Street W. Pages 36-62

NEXT MEETING

To be determined.

ADJOURNMENT

City of St. Thomas
Received

OCT 25 2018

City Clerks Dept.

MEMO

DATE: October 25th, 2018

ATTENTION: Melanie Knapp, Secretary, Municipal Heritage Committee

SUBJECT: Heritage Alteration Permit
244-248 Talbot Street
HAP-03-18

Please find attached a notice of receipt for Heritage Alteration Permit within the City of St. Thomas. The applicant has consulted with Planning & Building Services Department Staff and the application has been deemed complete.

As per the Heritage Alteration Permit process, the attached material is being provided for your circulation to the Municipal Heritage Committee for consideration and recommendation to Council. In scheduling a meeting with the Municipal Heritage Committee and the applicant, please copy the Planning & Building Services Department for our records.

Through the consultation process, Planning & Building Staff do not have any additional comments for the Municipal Heritage Committee's consideration.

If you have any questions, please contact the Planning & Building Services Department.

Regards,



Crystal Penney
Planning & Building Services Coordinator



NOTICE OF RECEIPT FOR HERITAGE ALTERATION PERMIT
(Section 42(3) of the Ontario Heritage Act, R.S.O. 1990, c. O.18, as amended)

October 25th, 2018

Matt McLennan
185 Lake Margaret Trail
St. Thomas Ontario
N5R 0B7

Re: Notice of Receipt
Heritage Alteration Permit
File No.: HAP-03-18
Property: 244-248 Talbot Street

Pursuant to Section 42(3) of the Ontario Heritage Act, as amended, this letter is notice that the information and material required through the City of St. Thomas' Application for Heritage Alteration Permit has been provided and the application is thereby considered complete.

Council of the City of St. Thomas has 90 days from the issue of receipt of this notice to make a decision to grant or refuse this application.

The Secretary of the Municipal Heritage Committee has been circulated this notice and application for inclusion on the next available meeting agenda date. You will receive a separate notice of confirmation of your Municipal Heritage Committee meeting date and time. It is advisable for you or a representative to attend this meeting to present and respond to questions on your Heritage Alteration Permit application.

Please contact the Planning & Building Services Department at 519-633-2560 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "Crystal Penney".

Crystal Penney
Planning & Building Services Coordinator

cc: Melanie Knapp, Corporate Administrative and Accessibility Clerk, City of St. Thomas

Corporation of the City of St. Thomas

APPLICATION FOR A HERITAGE ALTERATION PERMIT

Pursuant to Section 33(2) and Section 42(2.1) of the Ontario Heritage Act

OFFICE USE:	Date Application Received: _____	Consultation Date: _____
	Date Application Deemed Complete: _____	File Number: _____

OWNER/APPLICANT

1. Property Owner
 Name: Gjalt Mulder
 Address: 296331 Line 29 Lakeside
 Postal Code: N0M 2G0 Phone: 519 283 8665 Fax: _____
 Email: ringiafarms@hsfx.ca

2. Agent/Applicant
 Name: MAT MCLENNAN
 Company: Ark Property Group
 Address: 185 Lake Margaret trail
 Postal Code: N5R 0B7 Phone: 519-810-2252 Fax: _____
 Email: mat@u-caninc.com

Who is the primary contact?

Registered Owner Applicant/Agent

*Note: Unless otherwise requested all communications will be sent to the Applicant.

*Please indicate the method of communication you would like to be contacted by.

Phone Email Fax Mail

PROPERTY INFORMATION

1. Municipal Address: 244-240 TALBOT ST STTHOMAS ONT

2. Legal Description: _____

SUMMARY OF WORK PROPOSED

1. What kind of permit is required?

Alteration to Building/Property New Construction Demolition

2. Check all types of work that would happen in your proposed project:

- demolition of a building or part of a building, such as a building façade
- removal of a building to a different location on site or to another site
- erection of a new building, a new façade, a new storefront, an addition to an existing building, a new garage or a new fence or wall
- structural intervention that affects the external appearance of a building
- repointing and repairing masonry, cleaning masonry of paint or grime, or painting or staining
- removal of parging, External Insulation and Finish System, siding or façade screen from walls or installation of new wall material to replace or cover existing wall material
- alteration of doors and windows, their heads and their surrounds, or cutting of new door and window openings in walls
- alteration of roofline or skyline by changes to cornices, overhangs, eaves, parapets, chimneys, domers, rooftop equipment, towers and roof shape, or alteration of historic roof coverings such as slate
- removal or addition of architectural detail, such as storefront cornices, decorative brickwork, stone trim, brackets, window shutters, awnings, porches and balconies
- erection of a sign
- alteration of streets and their boulevards, squares, parking lots

3. Please list below, any documents included with this submission (drawings, site plan, specifications, photographs and other documents as needed to illustrate the project). Requirements will depend on the scale of the project.

RENDERINGS OF PROPOSED NEW FACADE. * PROVIDED BY BERT DENNIS
ENGINEERED REPORT FROM D.C. BUCK

4. Explain the reasons for undertaking the alterations and describe how the proposal conforms to the Part IV individual designation by-law or Part V Heritage Conservation District Plan design guidelines. Attach additional page(s) if needed.

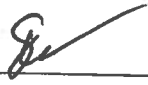
Major repair needed as corner came off
of buildy. upon further inspection
re-pointing / window coping needs replaced

6
APPENDIX A - AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Gjalt Mulder, am the owner of the subject lands, and I authorize
MATT MCLENNAN, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

Oct 11, 2018
Date


Signature of Owner

APPENDIX B - ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

I, Galt Mubler, am the owner of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

Oct 10 2018
Date


Signature of Owner

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Ontario Heritage Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. In accordance with the Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I MATT MCLENNAN, the Owner or Authorized Agent, hereby agree and acknowledge that the
(Print name of Owner or Authorized Agent)

information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. The information will be used for the purposes of administering the heritage permit application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. Questions about this collection should be directed to the Director of Planning and Building Services, 9 Mondamin Street, St. Thomas, Ontario, N5P 2T9, (519) 633-2560.

AFFIDAVIT OR SWORN DECLARATION

I, Matt McLennan of St Thomas in the province of Ontario,
name of applicant City

make oath and say (or solemnly declare) that the information required under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the St Thomas on this 15th day of Oct, 20 14.
City Day Month Year

[Signature]
Signature of Owner or Authorized Agent

15/10/14
Date

Signature of Commissioner of Oaths, etc.

Date

**244-248 TALBOT ST ALTERATIONS
ARK PROPERTY GROUP
PROPOSED SOLUTION**

1. REMOVE ALL LOOSE BRICKS AND REPLACE ALL FALLEN BRICKS TO MATCH EXISTING AS BEST POSSIBLE. AS PER MASONS, MATCHING THE EXACT BRICK WILL BE DIFFICULT, WE DID SALVAGE ROUGHLY 1/3 OF THE BRICK THAT FELL..

PLEASE SEE THE REPORT PROVIDED BY DC BUCK

2. THE ENTIRE FACADE OF THE BUILDING WILL BE REINFORCED WITH CONCRETE ANCHORS TO PREVENT ANY FURTHER FALLING BRICK, PLEASE SEE WALL SECTION PROVIDED BY DC BUCK

3. WE WILL REPAIR OR REPLACE THE DECORATIVE MOULDINGS AT THE TOP OF THE PARAPET WALL WITH THE SAME DESIGN OR AS CLOSE AS POSSIBLE WITH A METAL CLADDING

4 WE PROPOSE THAT ONCE THE MASONRY IS COMPLETE WE BELIEVE THAT PAINTING THE ENTIRE FACADE OF THE 3 SECTIONS WILL UNIFI THE BUILDING. THE RIGHT HAND SECTION HAS ALREADY BEEN PAINTED A RED COLOUR, THE LEFT HAND SIDE WILL HAVE THE REPAIRED BRICK THAT WILL NOT 100% MATCH, LEAVING THE MIDDLE TO LOOK THE MOST ORIGINAL . WE WOULD LIKE THIS BAD SITUATION TO HAVE A GOOD ENDING FOR THE CITY AND FOR ALL TENANTS AFFECTED, SO WE WOULD ALSO LIKE TO REPLACE ALL THE WINDOWS FACING TALBOT ST WITH A MORE TRADITIONAL DARK FRAME AND CONTOUR GRID AND BELIEVE THAT A LIGHTER NEUTRAL COLOUR ON THE BRICK WOULD MAKE THE WINDOWS STAND OUT. TO HELP SHOWCASE THE ARCHITECTURE WE CAN ALSO PAINT THE COLUMNS, LINTELS AND WINDOW ARCHES IF NEEDED. WE UNDERSTAND THAT THE BOTTOM PART OF THE BUILDING THAT HAS ALREADY BEEN RENOVATED MIGHT NEED TO BE RE-PAINTED TO ALLOW FOR A BETTER SYMMETRY. ***** THE MOST URGENT ISSUE IS GETTING THE BRICK REPAIRED AND SEALED FROM THE ELEMENTS, THE PAINTING OF THE BRICK CAN BE DECIDED AFTER ALL IMMEDIATE AND URGENT REPAIRS ARE COMPLETED *****

5. WE ARE A YOUNG AND GROWING COMPANY THAT HAS DONE SOME GREAT THINGS IN THIS CITY IN THE PAST 4 YEARS AND LOOK FORWARD TO CONTINUING THIS. BEING SAID THIS REPAIR WILL COST US AROUND THE \$100,000 THAT WAS NOT PLANNED FOR SO WE WOULD APPRECIATE YOUR UNDERSTANDING AND WITH APPROVAL WE PLAN OF HAVING THE TOTAL BRICK REPAIR AND PAINT COMPLETED WITHIN A 30 DAY PERIOD " WEATHER PERMITTED. THE LARGE AMOUNT OF SCAFFOLD WOULD BE ABLE TO COME DOWN AND ALLOW ALL TRAFFIC TO GO BACK TO NORMAL. AS THE WINDOW TAKE 8 WEEKS TO COME IN WE WILL INSTALL THOSE WITH A BOOM LIFT.

MATT MCLENNAN
ARK PROPERTY GROUP
519-860-2252

GENERAL NOTES:

1. Contractor must check and verify all dimensions and be responsible for same, reporting any discrepancies to the Engineer before commencing work.
2. Permits shall be obtained for construction until signed by the Engineer.
3. Prices are not to be inflated.
4. All drawings, prints and specifications are the property of D.C. Buck Engineering.
5. All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and Local Building Standards Department.
6. These notes are to be read in conjunction with all drawings and specifications.

CLIENT

ARK PROPERTY GROUP

No.	DESCRIPTION	DATE	DESIGNED	CHECKED	DATE
01	REVISIONS	N.P.	D.B.	OCT.23/18	
00	Permit Drawings	N.P.	D.B.	NOV.15/18	

REVISIONS

DCBUCK
ENGINEERING

231 Waterville Road South, Suite 201
London, Ontario (N6L 2A3)

Phone: 519 663-8800
Email: info@dcuckengineering.com

PROJECT

BRICK FACADE WALL REPAIR

AT
244 TALBOT STREET
LONDON, ONTARIO

DRAWING TITLE

SECTION, ELEVATION, NOTES

SCALE	As noted @ (11'x17')	DATE ISSUED	DATE
			OCT.15, 2018

DRAWN IN	CHECKED	DATE
N. FLACZEK	D. Buck	

DESIGNED BY	APPROVED BY	DATE
D. Buck	D. Buck	

PROJECT No.	SHEET No.	REV. No.
837018	S-1	01

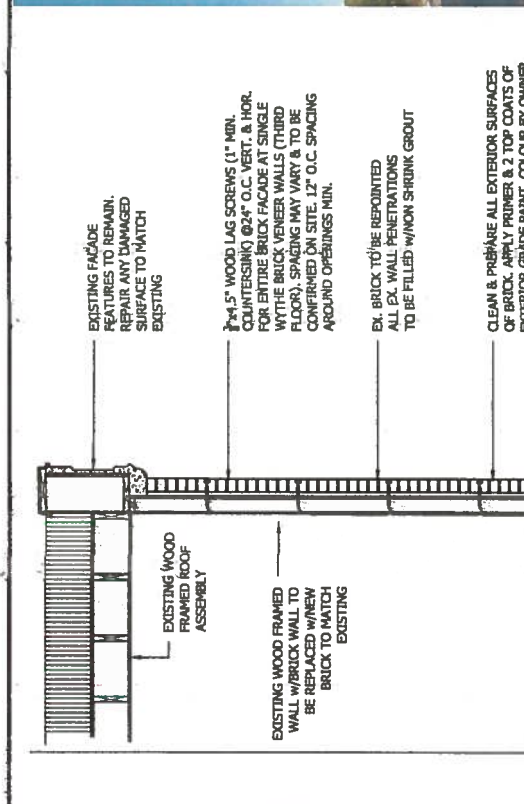


ALL AREAS OF EXISTING BRICK TO BE REINFORCE. SEE SECTION FOR DETAILS

REMOVE ALL LOOSE BRICKS & REPLACE ALL FALLEN BRICKS TO MATCH EXISTING

AREA OF WORK

KEYPLAN
N.T.S.



EXISTING FACADE FEATURES TO REMAIN. REPAIR ANY DAMAGED SURFACE TO MATCH EXISTING

1/4" x 5" WOOD LAG SCREWS (1" MIN. COUNTERSINK) @ 24" O.C. VERT. & HOR. FOR ENTIRE BRICK FACADE AT SINGLE WYTHE BRICK VENEER WALLS (THIRD FLOOR). SPACING MAY VARY & TO BE CONFIRMED ON SITE. 12" O.C. SPACING AROUND OPENINGS MIN.

EX. BRICK TO BE REPOINTED ALL EX. WALL PENETRATIONS TO BE FILLED w/ NON SHRUNK GROUT

CLEAN & PREPARE ALL EXTERIOR SURFACES OF BRICK. APPLY PRIMER & 2 TOP COATS OF EXTERIOR GRADE PAINT, COLOUR BY OWNER

FILL BRICK WHERE DAMAGED TO MATCH EXISTING FACADE ELEVATION

1/4" x 5" TITAN CONC ANCHOR (1" MIN. COUNTERSINK) @ 24" O.C. VERT. & HOR. FOR ENTIRE BRICK FACADE AT MULTI-WYTHE BRICK WALL (SECOND FLOOR). SPACING MAY VARY & TO BE CONFIRMED ON SITE. 12" O.C. SPACING AROUND OPENINGS MIN.

EXISTING WOOD FRAMED ROOF ASSEMBLY

EXISTING WOOD FRAMED FLOOR ASSEMBLY

EXISTING 3-WYTHE BRICK WALL

EXISTING WOOD FRAMED FLOOR ASSEMBLY

GENERAL NOTES:

GENERAL:

1. ALL DESIGN AND WORKMANSHIP ON THIS PROJECT SHALL MEET THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION SAFETY ACT (INCLUDING LATEST AMENDMENTS) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION.
3. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
4. PROVIDE ALL TEMPORARY SHORING AND BRACING TO ENSURE THE STRUCTURE REMAINS STABLE DURING CONSTRUCTION.

MASONRY:

1. ALL MASONRY WORK SHALL CONFORM TO ONTARIO BUILDING CODE LATEST EDITION AND CANC.S.A. STANDARDS A371-04 - "MASONRY DESIGN FOR BUILDINGS (LIMIT STATES DESIGN)".
2. ALL BRICK UNITS SHALL CONFORM TO CAN/CSA - A165-2-04
3. ALL LOAD BEARING MASONRY SHALL HAVE TYPE 'S' MORTAR, AND FOUNDATION WALL TYPE 'M' MORTAR CONFORMING TO CSA STANDARD A179-04.
4. THE CONTRACTOR SHALL NOT CUT ADDITIONAL HOLES THROUGH MASONRY BEARING WALLS OTHER THAN THE HOLES SHOWN ON THE STRUCTURAL DRAWINGS UNLESS APPROVED BY THE CONSULTANT.
5. PROVIDE 150mm (6") MIN. BEARING FOR UNTELS.
6. PROVIDE MASONRY TIES & LATERAL REINFORCEMENT IN ACCORDANCE WITH REFERENCE STANDARD AND/OR AS SHOWN ON DRAWINGS.
7. PROVIDE FULL MORTAR BEDS, INCLUDING FACE SHELL AND CROSS WEBS AT ALL HORIZONTAL JOINTS

EXISTING WOOD CANOPY EXISTING TIMBER BEAM

EXISTING WOOD FRAMED STUCCO FINISHED WALL ASSEMBLY

WALL SECTION
1/8" = 1'-0"

WINDOW GLASS FALL



WINDOW REF



245 TALBOT STREET



REMOVE ALL LOOSE BRICKS & REPLACE ALL FALLEN BRICKS TO MATCH EXISTING

FACADE ELEVATION

N.T.S.

** Paint is not permitted where this repair. Heritage approval required*

OFFICE COPY

GENERAL NOTES:

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7. PROVIDE FULL MORTAR BEDS, INCLUDING FACE SHELL AND CROSS WEBS AT ALL HORIZONTAL JOINTS



KEYPLAN

N.T.S.

- GENERAL NOTES**
1. Contractor must check and verify all dimensions and be responsible for same, reporting any discrepancies to the Engineer before commencing work.
 2. Prints shall not be used for construction until signed by the Engineer.
 3. Prints are not to be scaled.
 4. All drawings, prints and specifications are the property of D. C. Buck Engineering.
 5. All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and Local Building Standards Department.
 6. These notes are to be read in conjunction with all drawings and specifications.

CLIENT
ARK PROPERTY GROUP

NO.	REVISIONS	DESCRIPTION	DATE
01	REVISIONS	N.P.	D.B.
00	Permit Drawings	N.P.	D.B.

ALL AREAS OF EXISTING BRICK TO BE REINFORCE. SEE SECTIONS FOR DETAILS.

CITY OF ST. THOMAS
Planning and Building Services
Department

Building Services
APPROVED PLANS

Date: *Oct 25/18*
Examiner: *[Signature]*
AREA OFFICER: *2018-196*

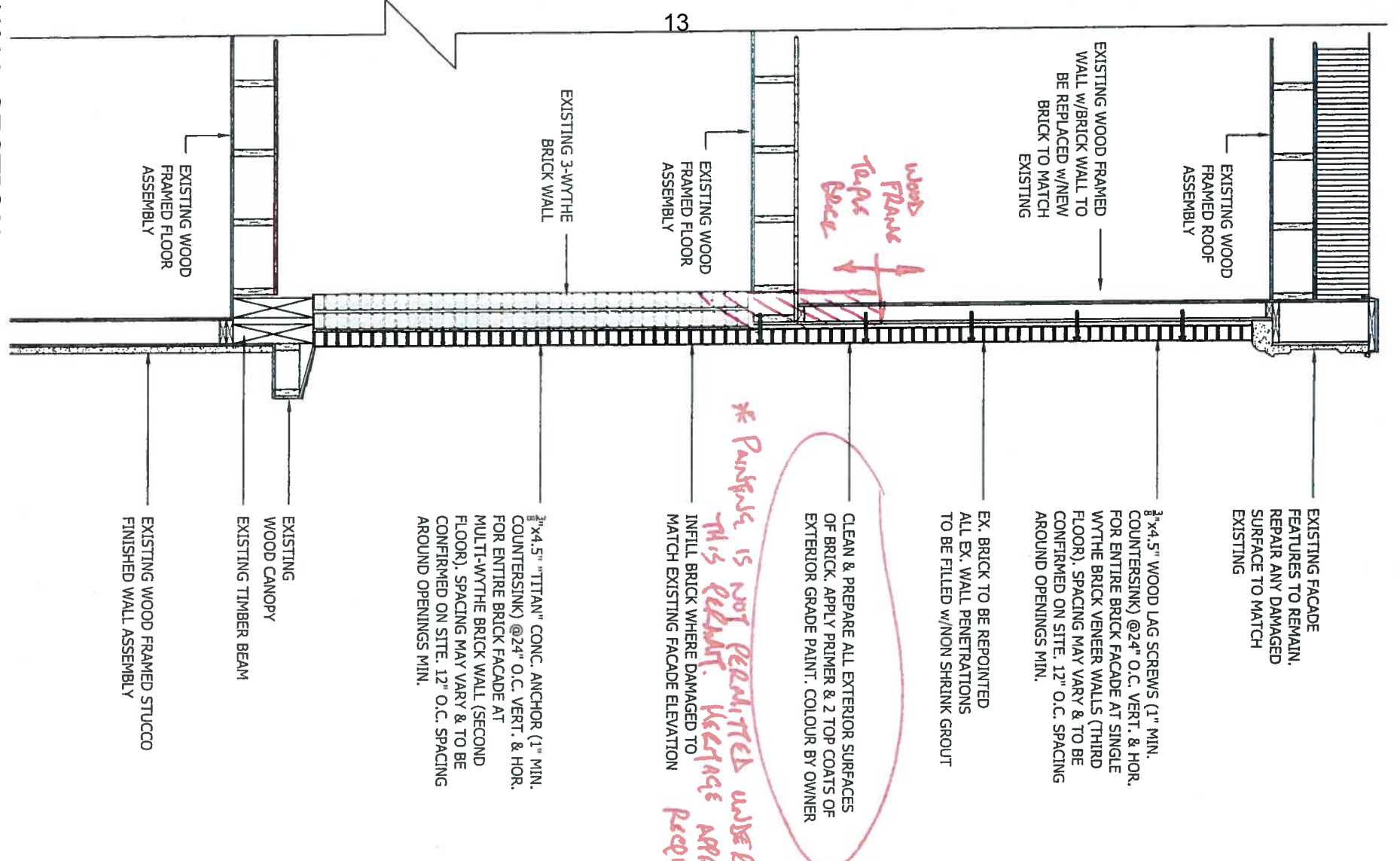
DCBUCK ENGINEERING
231 Wharmville Road South, Suite 201
London, Ontario (N6J 2L3)
Phone: (519) 615-8508
dcmr@dcbruckengineering.com

LICENSED PROFESSIONAL ENGINEER
D.C. BUCK
100054470
OCT. 23, 2018
PROVINCE OF ONTARIO

PROJECT
BRICK FACADE WALL REPAIR
AT
244 TALBOT STREET
LONDON, ONTARIO

DRAWING TITLE
SECTION, ELEVATION, NOTES

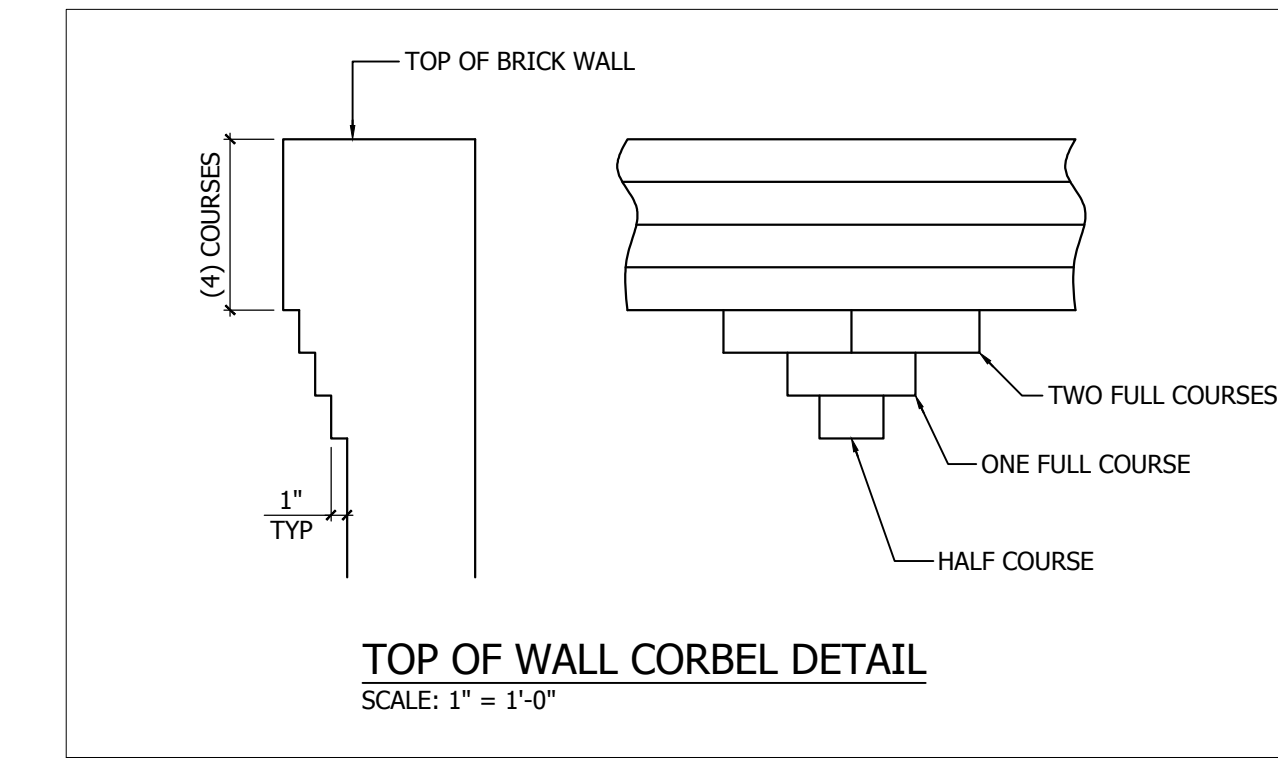
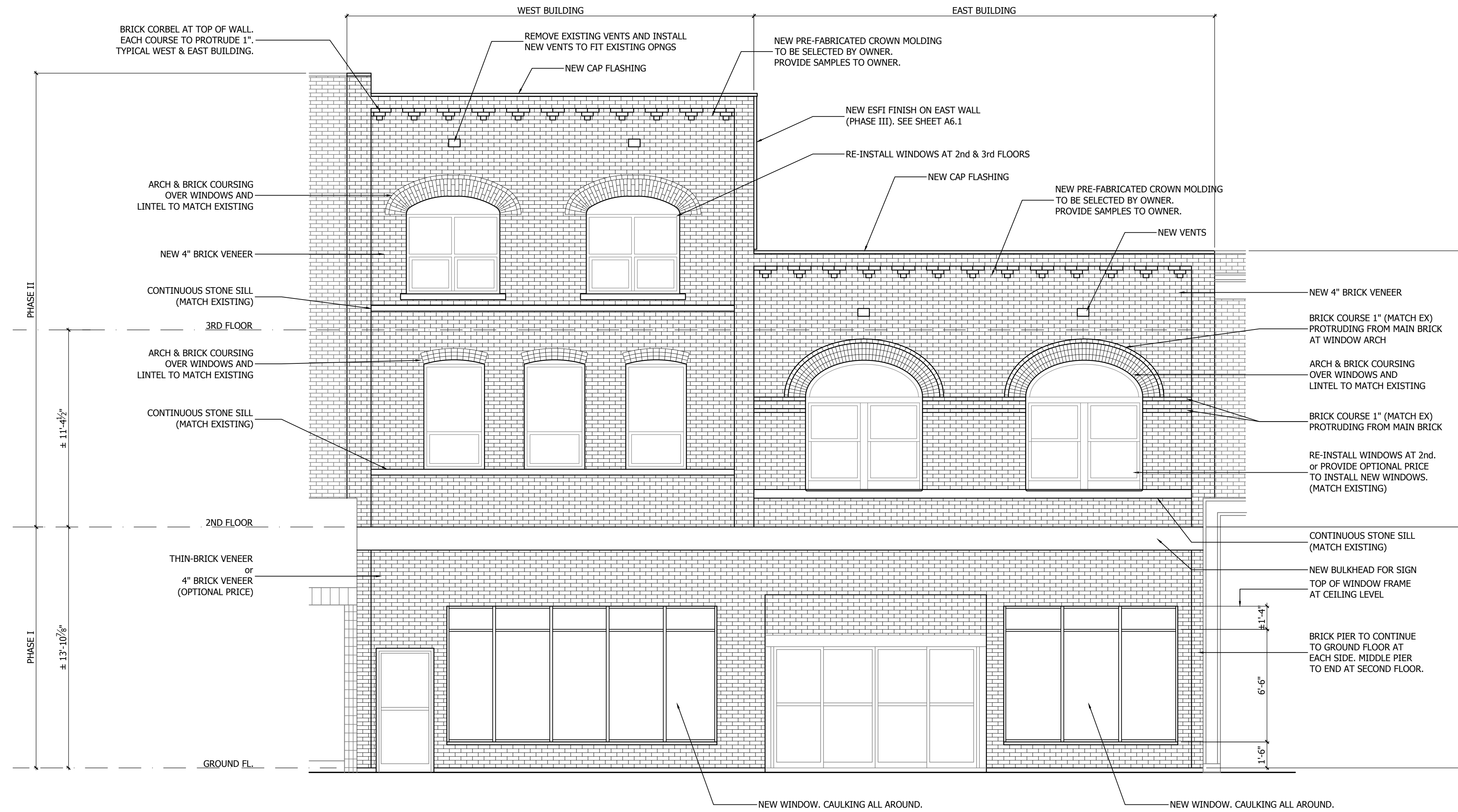
SCALE	As noted	DATE
	(11"x17")	ISSUED
DRAWN	N. PLACZEK	CHECKED
DESIGNED	D. BUCK	APPROVED
PROJECT No.	837018	SHEET No.
		REV. No.
		S-1
		01



WALL SECTION

3/8" = 1'-0"

13



SOUTH ELEVATION - NEW CONSTRUCTION

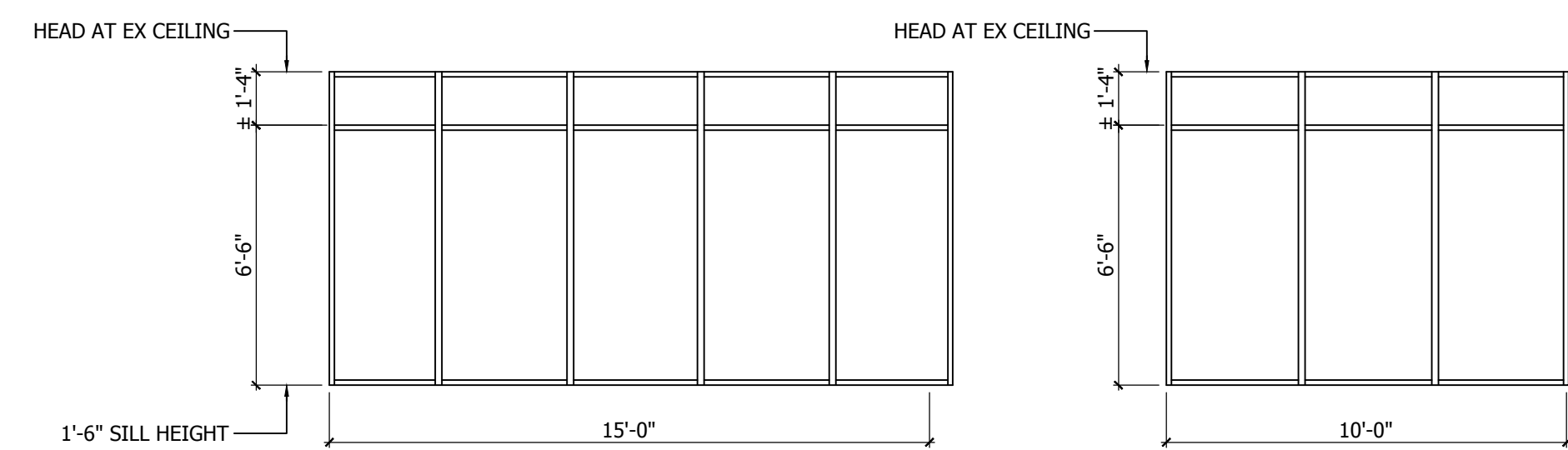
SCALE: 1/4" = 1' - 0"

PHASE I: NEW WALL CONSTRUCTION GROUND FLOOR TO 2ND FLOOR ON WEST & EAST BUILDING.
 PHASE II: WEST BUILDING = NEW WALL CONSTRUCTION FROM 2ND FLOOR TO TOP OF PARAPET.
 EAST BUILDING = NEW WALL CONSTRUCTION FROM 2ND FLOOR TO TOP OF PARAPET.

SPATIAL SEPARATION FOR SOUTH WALL
 GROUND FLOOR: 56.17m², LIMITING DISTANCE = 9.5m. EXCEPTED AS PER OBC 3.2.10 (2)
 100% ALLOWABLE OPENINGS.

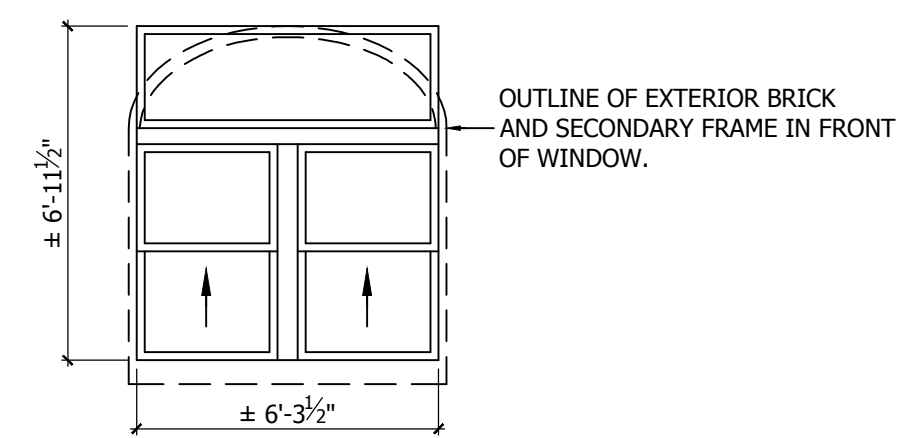
SECOND FLOOR: 44.8m², LIMITING DISTANCE 9.5m. OBC TABLE 3.2.3.1.B
 100% ALLOWABLE OPENINGS.

THIRD FLOOR: 17.07m², LIMITING DISTANCE 9.5m. OBC TABLE 3.2.3.1.B
 100% ALLOWABLE OPENINGS.



GROUND FLOOR NEW WINDOWS

NEW ALUMINIUM WINDOW AT GROUND FLOOR LEVEL.
 CLEAR ANODIZED, FIXED TEMPERED GLASS. THERMAL DOUBLE GLAZED.
 MAXIMUM U = 1.9 W/(m²K)
 SGCH = 0.4



2nd FLOOR NEW WINDOWS EAST BUILDING

PROVIDE ALTERNATE PRICE TO INSTALL NEW ALUMINIUM WINDOW AT 2ND FLOOR LEVEL EAST BUILDING. SIZE TO MATCH EXISTING.
 INFILL AROUND WINDOW TO MATCH EXISTING.
 CLEAR ANODIZED, TEMPERED GLASS. THERMAL DOUBLE GLAZED.
 MAXIMUM U = 1.9 W/(m²K)
 SGCH = 0.4

This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.

STAMP	NORTH ARROW
ISSUED FOR	
<input type="checkbox"/> PRELIMINARY	<input checked="" type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> TENDER
<input type="checkbox"/> SITE PLAN APPROVAL	<input type="checkbox"/> CONSTRUCTION
DATE 2018-09-28	

NOTE: DIMENSION OF EXISTING BUILDING ARE TO BE USED FOR TENDERING PURPOSES. CONTRACTOR TO SITE VERIFY ALL DIMENSION AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING

2	REVISE AS PER HERITAGE REVIEW COMMENTS	2018-10-19
1	NEW WINDOWS AT GND FLR. NEW BRICK ON EAST BLDG	2018-09-25
REV.	DESCRIPTION	DATE

CLIENT
YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

PROJECT
BUILDING EXTERIOR RENOVATIONS

DRAWING
SOUTH ELEVATION (NEW CONSTRUCTION)

DRAWN	PKV	CHECKED	JH
DATE	JUNE 6, 2018	SCALE	AS NOTED
PROJECT NUMBER	17237	SHEET SIZE	24x36
FILE NAME	17237Main4	DRAWING	A4.2

City of St. Thomas
Received

OCT 11 2018

City Clerks Dept.

MEMO

DATE: October 10th, 2018

ATTENTION: Melanie Knapp, Secretary, Municipal Heritage Committee

SUBJECT: Heritage Alteration Permit
519 & 523 Talbot Street West
HAP-02-18

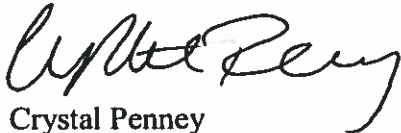
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If you have any questions, please contact the Planning & Building Services Department.

Regards,



Crystal Penney
Planning & Building Services Coordinator

NOTICE OF RECEIPT FOR HERITAGE ALTERATION PERMIT
(Section 42(3) of the Ontario Heritage Act, R.S.O. 1990, c. O.18, as amended)

October 10th, 2018

Peter Yurek
519 Talbot Street West
St. Thomas, Ontario
N5P 1C3

**Re: Notice of Receipt
Heritage Alteration Permit**
File No.: HAP-02-18
Property: 519 & 523 Talbot Street West

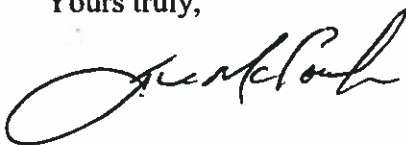
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Please contact the Planning & Building Services Department at 519-633-2560 if you have any questions.

Yours truly,



Jim McCoomb
Manager of Planning Services

cc: Melanie Knapp, Corporate Administrative and Accessibility Clerk, City of St. Thomas

Corporation of the City of St. Thomas

APPLICATION FOR A HERITAGE ALTERATION PERMIT

Pursuant to Section 33(2) and Section 42(2.1) of the Ontario Heritage Act

OFFICE USE:	Date Application Received: <u>SEP 27 2018</u>	Consultation Date: <u>September 24/18</u>
	Date Application Deemed Complete: <u>OCT 10 2018</u>	File Number: <u>HAP 02-18</u>

OWNER/APPLICANT

1. Property Owner
 Name: Pato Hignite
 Address: 519 Talbot St
 Postal Code: N5P 1G3 Phone: 519-631-8769 Fax: 519-631-6929
 Email: pato@quackpharmacy.com

2. Agent/Applicant
 Name: MARCO S. J. M.M.
 Company: YUREK PHARMACY
 Address: 519 Talbot St SAINT THOMAS ON.
 Postal Code: _____ Phone: 519 859 8469 Fax: _____
 Email: RBC3@STO.NET

Who is the primary contact?
 Registered Owner Applicant/Agent
 *Note: Unless otherwise requested all communications will be sent to the Applicant.
 *Please indicate the method of communication you would like to be contacted by.
 Phone Email Fax Mail

PROPERTY INFORMATION

1. Municipal Address: 519 AND 523 TALBOT ST, SAINT THOMAS ON
 2. Legal Description: _____

SUMMARY OF WORK PROPOSED

1. What kind of permit is required?
 Alteration to Building/Property New Construction Demolition

2. Check all types of work that would happen in your proposed project:

- demolition of a building or part of a building, such as a building façade
- removal of a building to a different location on site or to another site
- erection of a new building, a new façade, a new storefront, an addition to an existing building, a new garage or a new fence or wall
- structural intervention that affects the external appearance of a building
- repointing and repairing masonry, cleaning masonry of paint or grime, or painting or staining
- removal of parging, External Insulation and Finish System, siding or façade screen from walls or installation of new wall material to replace or cover existing wall material
- alteration of doors and windows, their heads and their surrounds, or cutting of new door and window openings in walls
- alteration of roofline or skyline by changes to cornices, overhangs, eaves, parapets, chimneys, domers, rooftop equipment, towers and roof shape, or alteration of historic roof coverings such as slate
- removal or addition of architectural detail, such as storefront cornices, decorative brickwork, stone trim, brackets, window shutters, awnings, porches and balconies
- erection of a sign
- alteration of streets and their boulevards, squares, parking lots

3. Please list below, any documents included with this submission (drawings, site plan, specifications, photographs and other documents as needed to illustrate the project). Requirements will depend on the scale of the project.

DRAWINGS AND PICTURES EMAILED TO WENDELL GRAVES AND
JIM McCOMBE

4. Explain the reasons for undertaking the alterations and describe how the proposal conforms to the Part IV individual designation by-law or Part V Heritage Conservation District Plan design guidelines. Attach additional page(s) if needed.

THE REASON FOR THE PROJECT IS TO REPAIR DAMAGES OF WEATHER AND TIME.
THE EXISTING FACADE WILL BE REMOVED AND REPLACED WITH NEW HERITAGE STYLE BRICK IN THE ORIGINAL PATTERN. THE PARAPET WILL BE REBUILT WITH CORBELLING SIMILAR TO THE BUILDINGS JUST WEST OF OAPS

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Ontario Heritage Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. In accordance with the Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I HAROLD SWINN, the Owner or Authorized Agent, hereby agree and acknowledge that the
(Print name of Owner or Authorized Agent)

information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. The information will be used for the purposes of administering the heritage permit application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. Questions about this collection should be directed to the Director of Planning and Building Services, 9 Mondamin Street, St. Thomas, Ontario, N5P 2T9, (519) 633-2560.

AFFIDAVIT OR SWORN DECLARATION

I, HAROLD SWINN of SAINT THOMAS in the province of ONTARIO,
name of applicant City

make oath and say (or solemnly declare) that the information required under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the SAINT THOMAS on this 27 day of SEP, 2018.
City Day Month Year

[Signature]
Signature of Owner or Authorized Agent

SEP 27, 2018
Date

[Signature]
Signature of Commissioner of Oaths, etc.

Sept 27, 2018
Date

Crystal Marie Penney, a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of St. Thomas.
Expires September 18, 2019.

APPENDIX A - AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, PETER YUREK, am the owner of the subject lands, and I authorize HAROLD SW, MM, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

8/25/18
Date


Signature of Owner

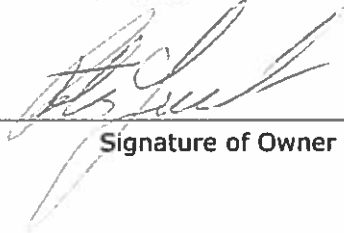
21
APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

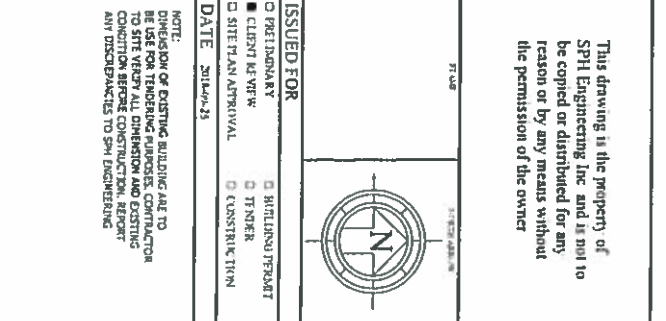
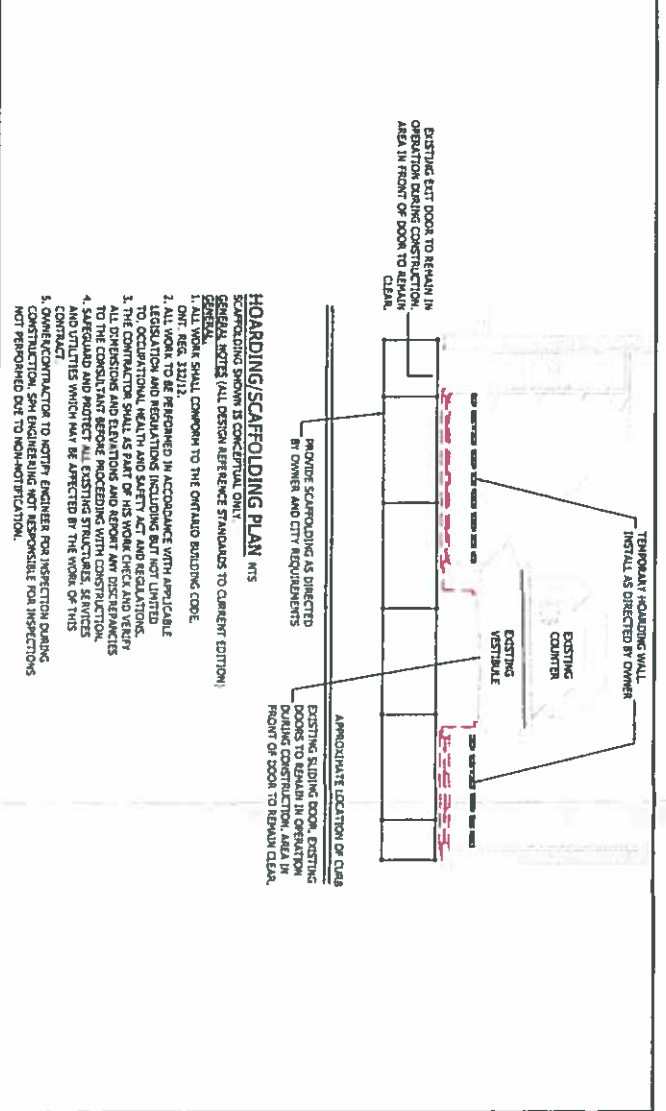
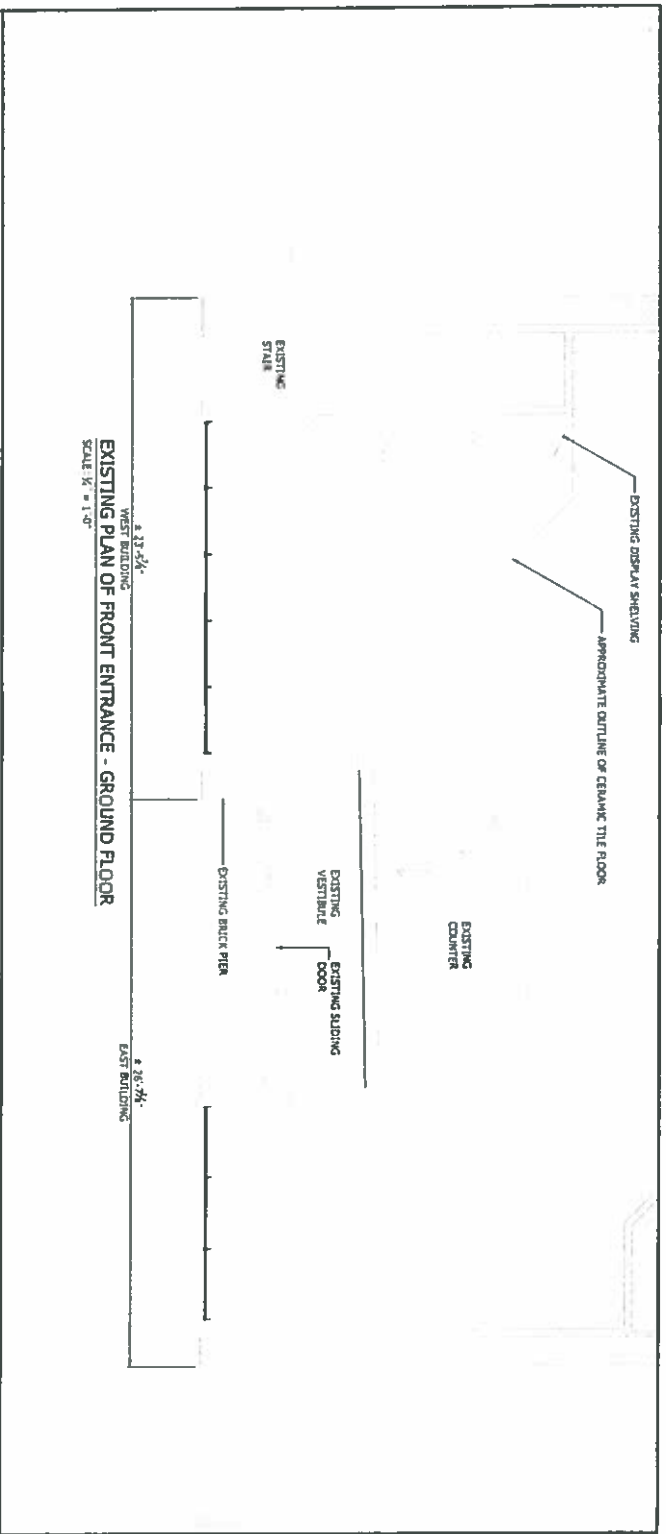
In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

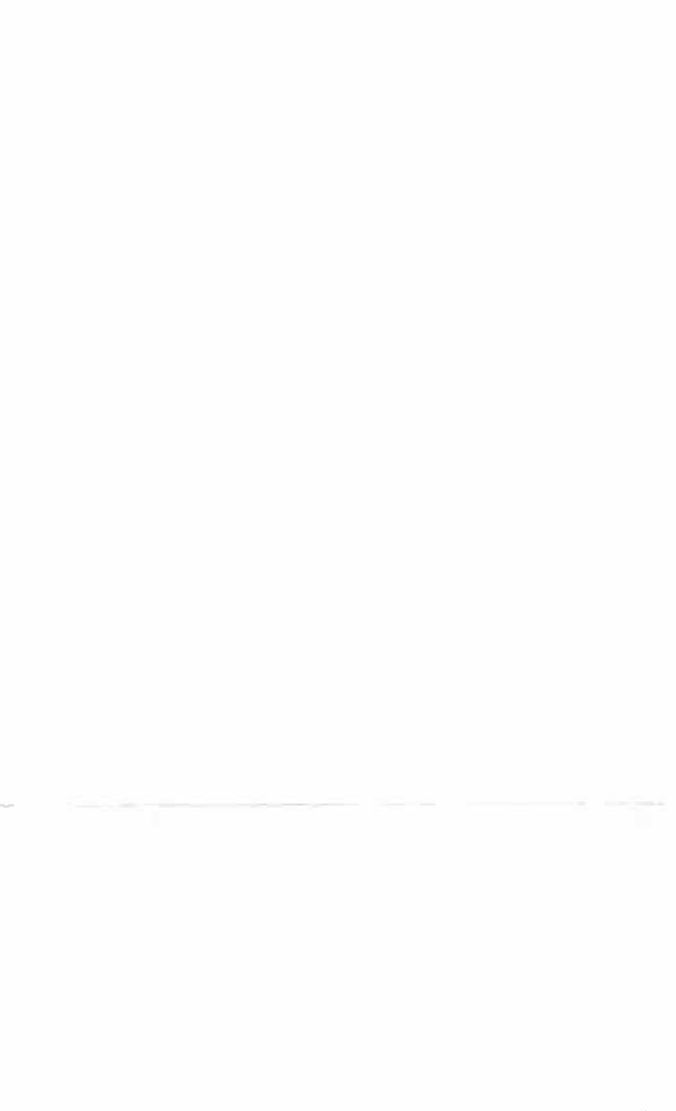
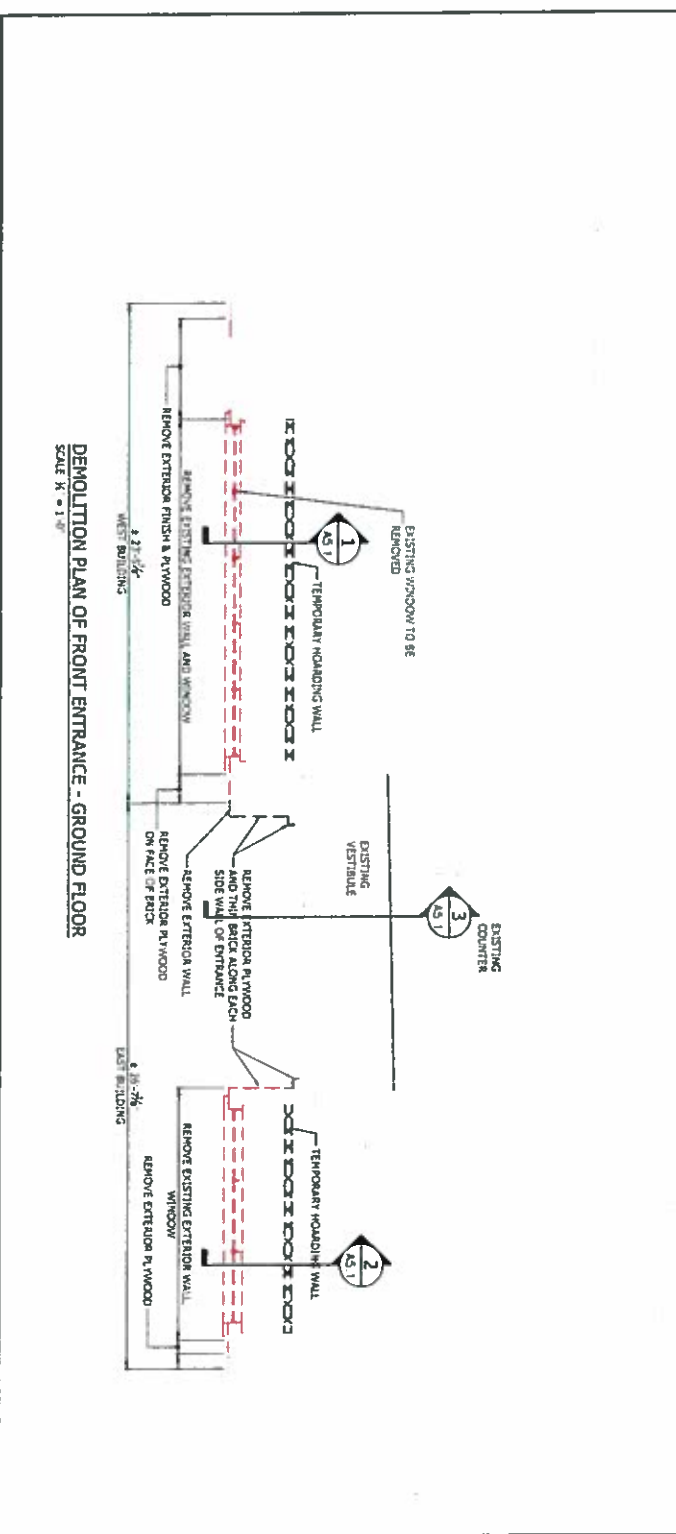
I, PETER YURCIC, am the **owner** of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

Sept 25/18
Date

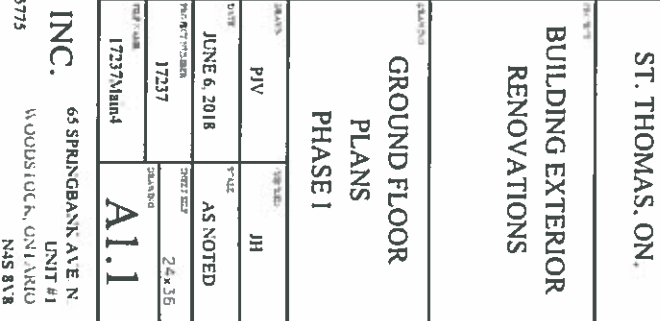
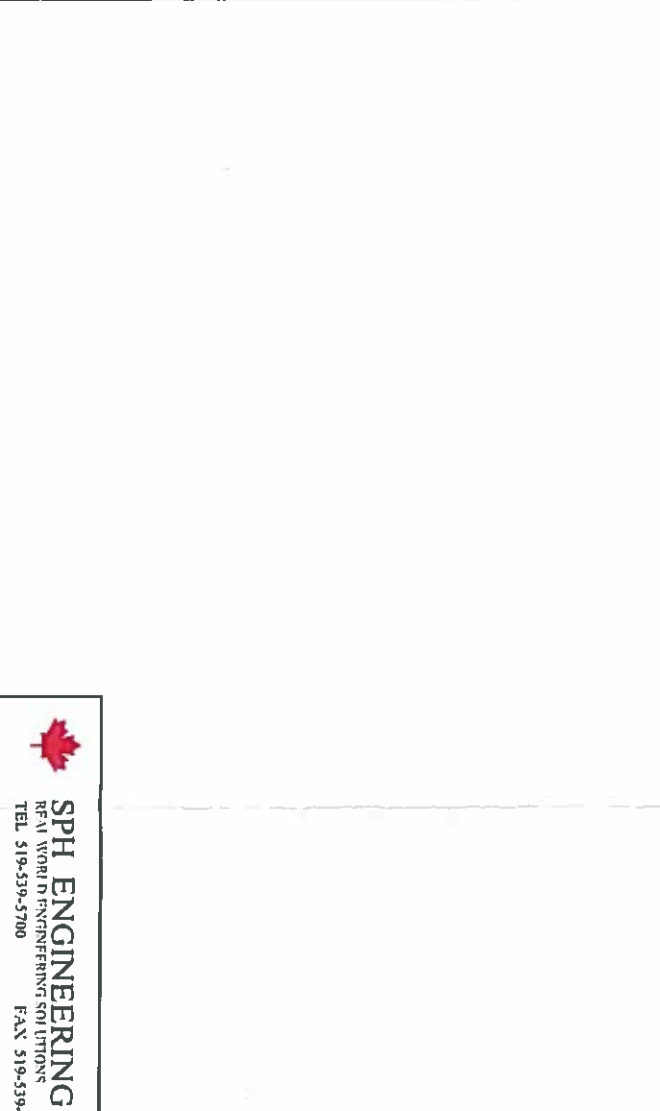
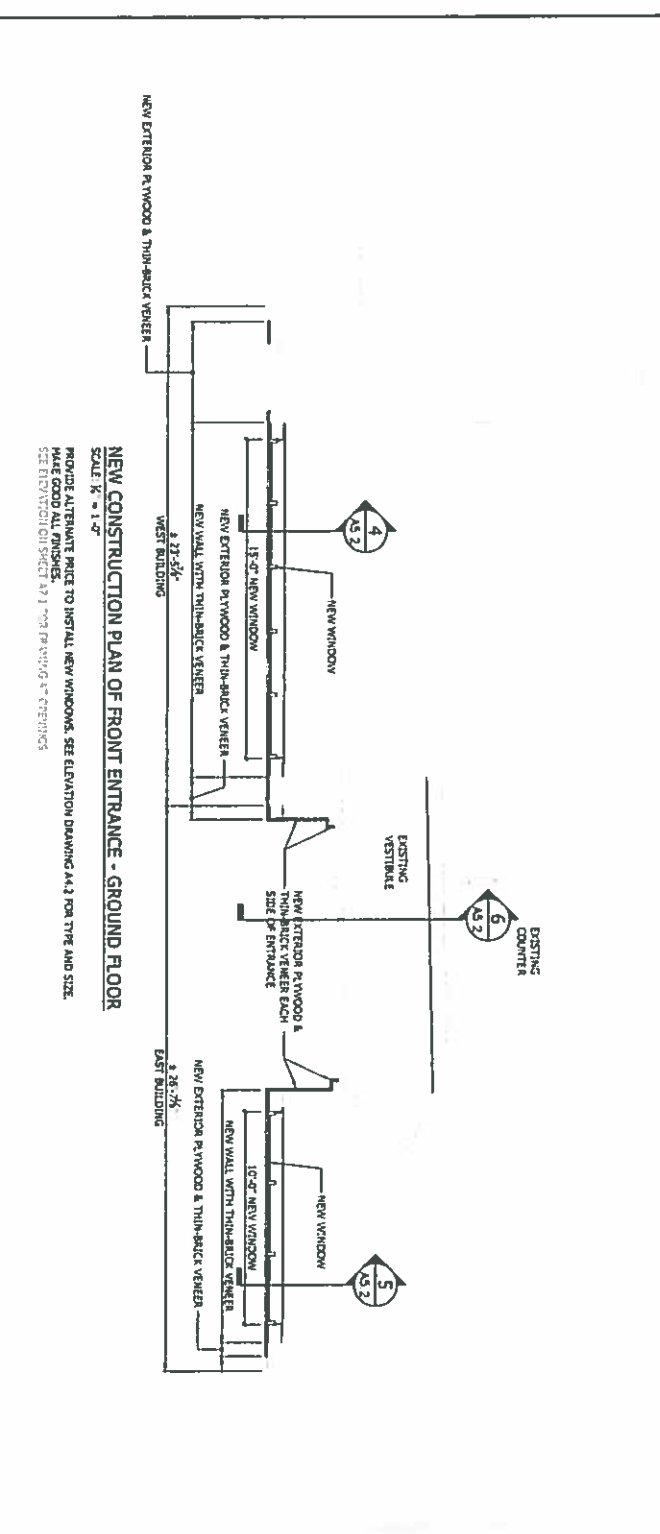

Signature of Owner



21-049
 1:1250 (AS SHOWN)
 This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.



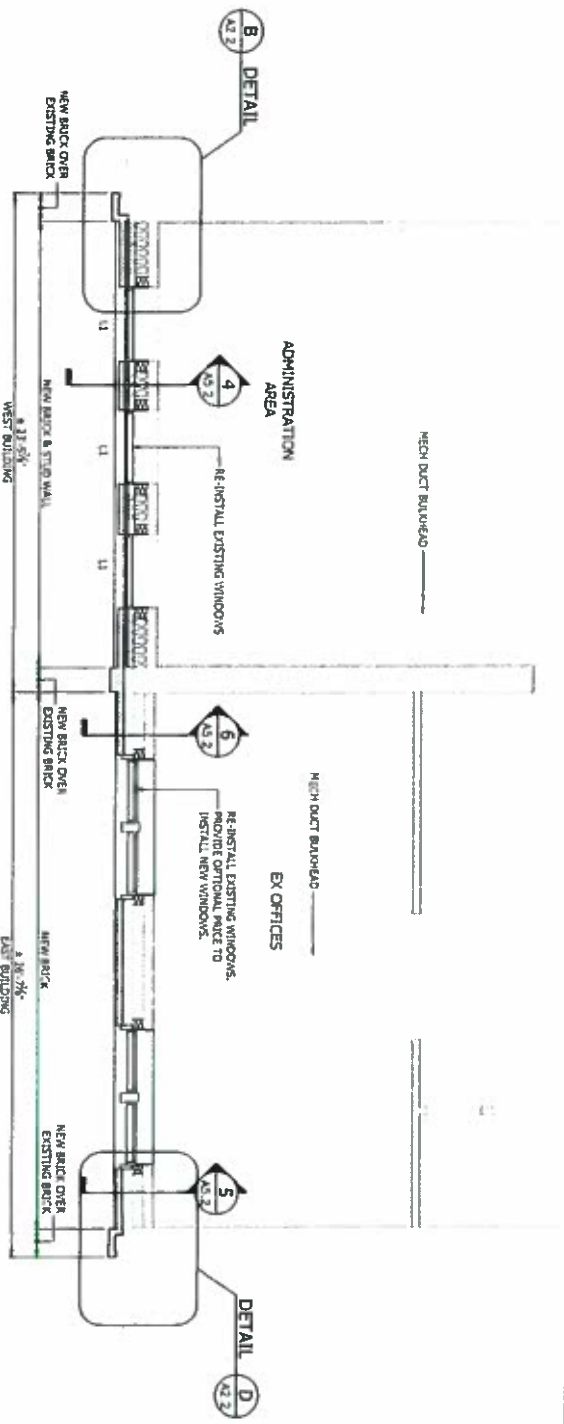
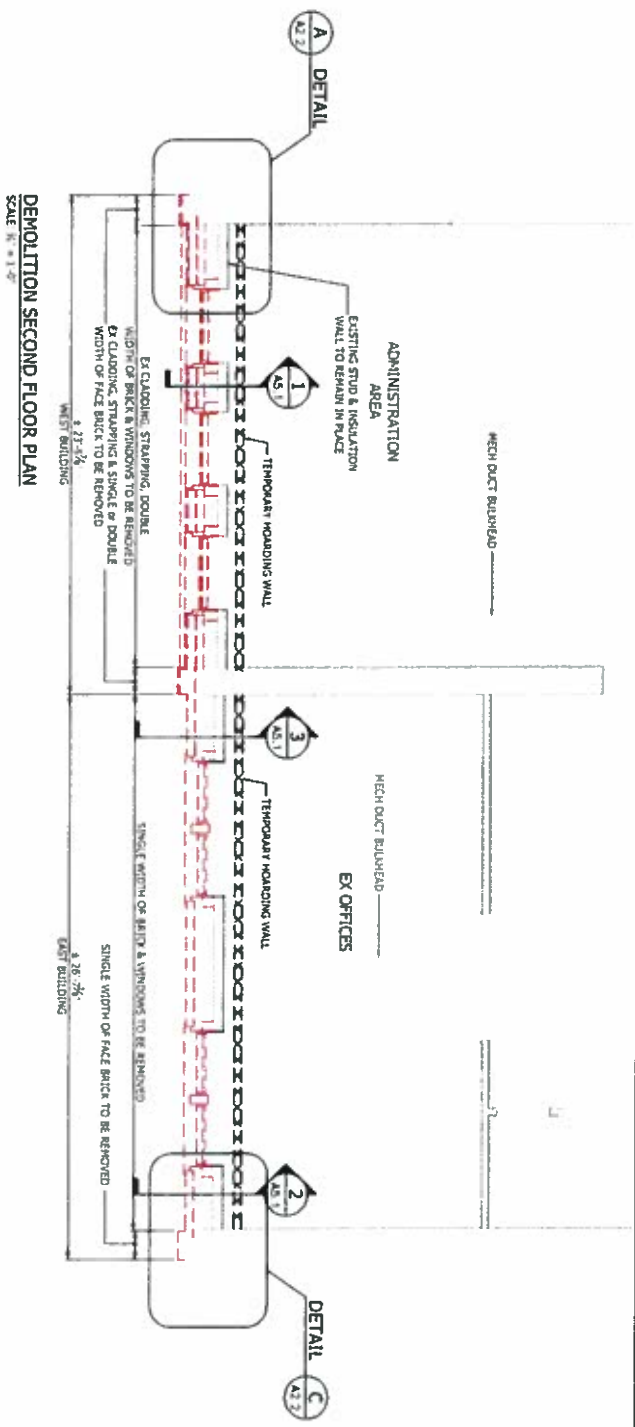
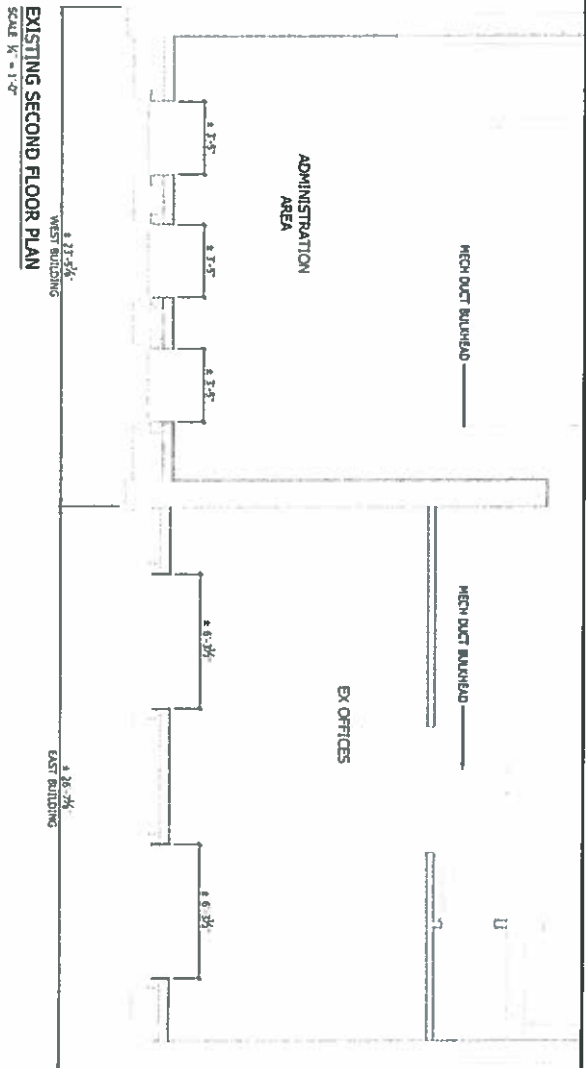
21-049
 1:1250 (AS SHOWN)
 This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.



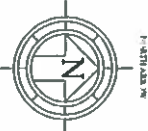
21-049
 1:1250 (AS SHOWN)
 This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.
 BUILDING EXTERIOR
 RENOVATIONS
 GROUND FLOOR
 PLANS
 PHASE 1
 SHEET NO. 2 OF 3
 DATE: 2018-09-25
 REV. 1: INSTALL NEW WINDOWS AT EXISTING EXTERIOR FLOOR

SPH ENGINEERING INC.
 65 SPRINGBANK AVE N
 WOODS BLDG, ONTARIO
 UNIT #1
 N4S 8Y8
 TEL: 519-539-5700
 FAX: 519-539-5775



This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.



ISSUED FOR

<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> BRITISH STANDARD
<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> TENDER
<input type="checkbox"/> SITE PLAN APPROVAL	<input type="checkbox"/> CONSTRUCTION

DATE: 2018 Jun 25

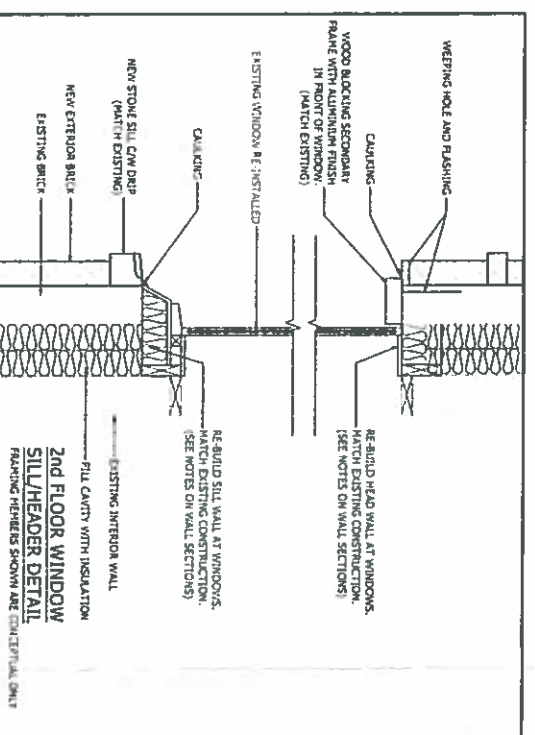
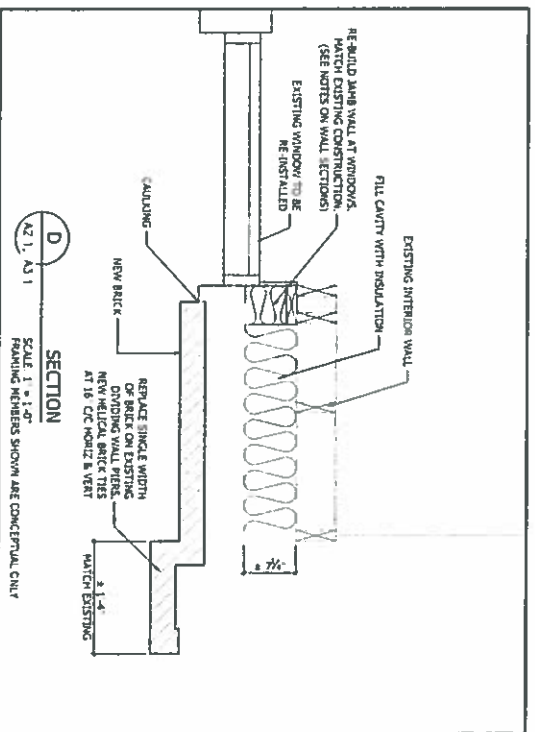
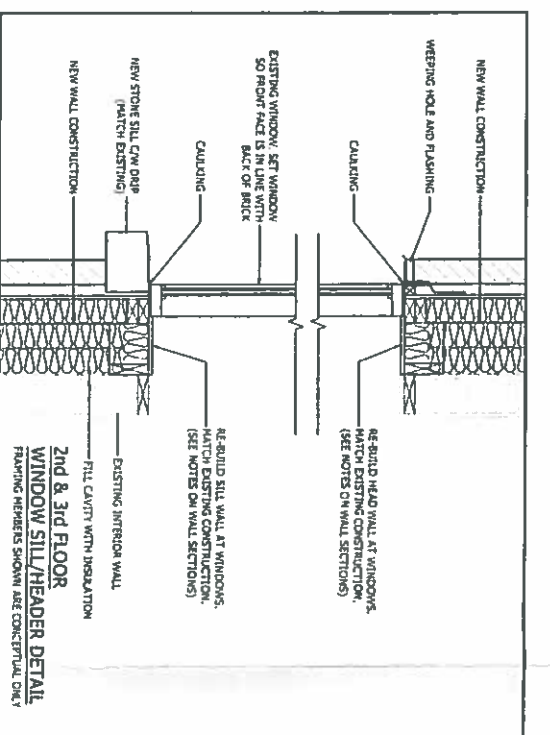
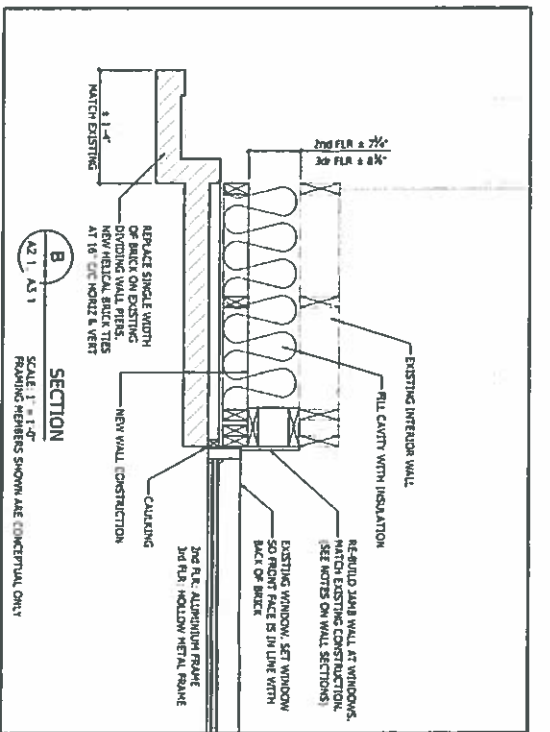
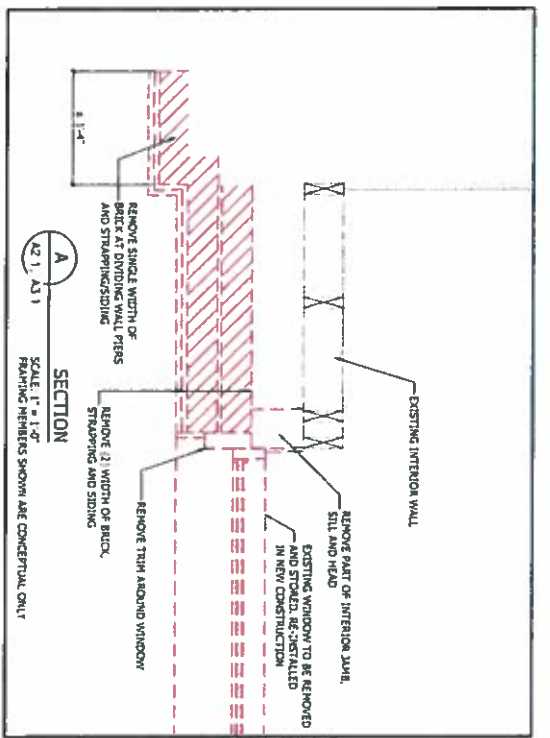
NOTE: DIMENSIONS OF EXISTING BUILDING ARE TO BE USED FOR THE EXISTING PORTIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

REV	DESCRIPTION	DATE
1	DELETE RE-POSTING EAST 305' 8" - 49' 2" AND REMOVE AND 450' 6" - 22' 2"	

YUREK
519 TALBOT STREET
ST. THOMAS, ON.

BUILDING EXTERIOR RENOVATIONS

DATE	BY	CHKD BY	SCALE
JUNE 6, 2018	PJV	JH	AS NOTED
17237			24.35
17237 Main 4			A2.1



ISSUED FOR
 PRELIMINARY
 CLIENT REVIEW
 SITE PLAN APPROVAL
 HINT/INQUIRY
 DESIGN
 CONSTRUCTION
 DATE: 2018-06-23

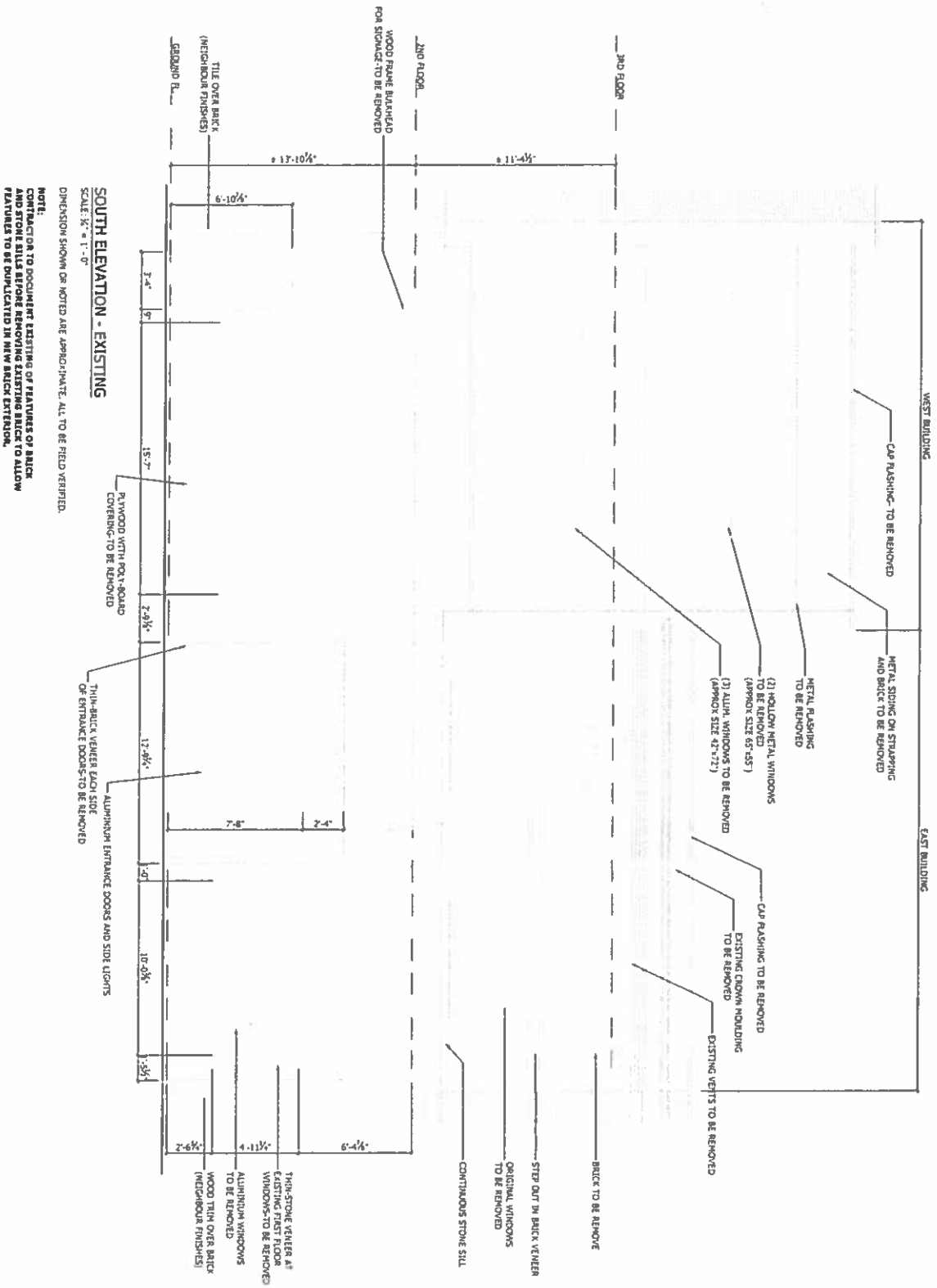
NOTE:
 DIMENSIONS OF EXISTING BUILDING ARE TO BE SET FOR TOLERANCE PURPOSES AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

REV	DESCRIPTION	DATE
1	2018-06-23	2018-06-23
2	2018-06-23	2018-06-23

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

WALL DETAILS

DATE	REVISED	BY
JUNE 6, 2018		JH
17237	24.35	
17237Main4	A2.2	



SOUTH ELEVATION - EXISTING

SCALE: 3/8" = 1'-0"
DIMENSIONS SHOWN OR NOTED ARE APPROXIMATE. ALL TO BE FIELD VERIFIED.

NOTE: DIMENSIONS TO OCCUPYING RESTING OF MATERIALS OF BRICK AND STONE SHALL BE BEFORE REMOVAL OF MATERIALS TO ALLOW FEATURES TO BE DEDUCTED IN NEW BRICK EXTENSION.

This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR
 PRELIMINARY
 CLIENT REVIEW
 SITE PLAN APPROVAL
 TENTATIVE
 CONSTRUCTION
 DATE: 2018-06-25

NOTE: CONDITION OF EXISTING BUILDING AND THE BUILDING SHALL BE FIELD VERIFIED. ALL DIMENSION AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

REV	DESCRIPTION	DATE
1	EAST BUILDING BRICK TO BE REMOVED	2018-06-25

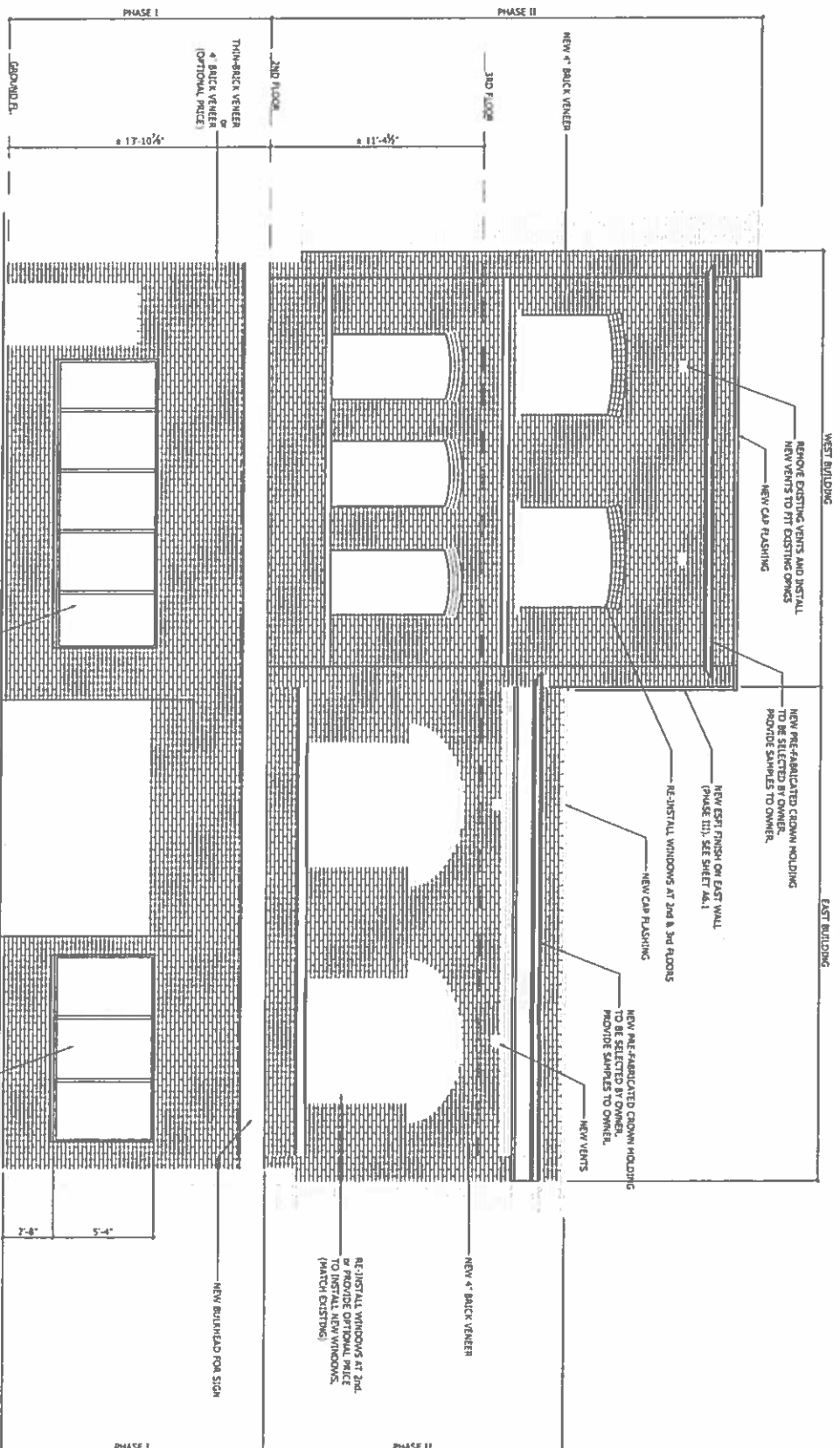
YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

BUILDING EXTERIOR RENOVATIONS

SOUTH ELEVATION (EXISTING)

DATE	BY	REVISION
JUNE 6, 2018	JH	AS NOTED
17237		24.35

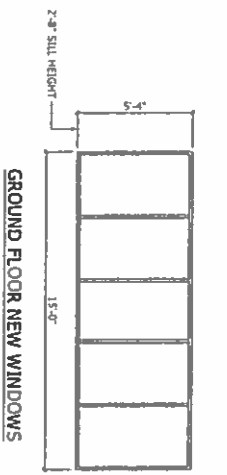
PROJECT: 17237MAIN4
A4.1



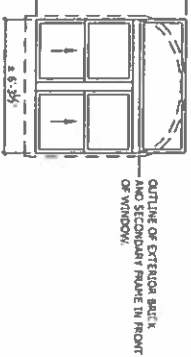
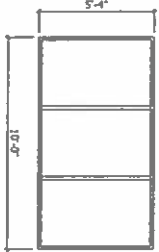
SOUTH ELEVATION - NEW CONSTRUCTION

SCALE: 1/4" = 1'-0"

PHASE I: NEW WALL CONSTRUCTION GROUND FLOOR TO 2ND FLOOR ON WEST & EAST BUILDINGS.
 PHASE II: WEST BUILDING = NEW WALL CONSTRUCTION FROM 2ND FLOOR TO TOP OF MAJORET.
 EAST BUILDING = NEW WALL CONSTRUCTION FROM 2ND FLOOR TO TOP OF MAJORET.



GROUND FLOOR NEW WINDOWS
 NEW ALUMINUM WINDOW AT GROUND FLOOR LEVEL.
 CLEAR ANCHORS, TYPED TEMPERED GLASS, THERMAL DOUBLE GLAZED.
 MATCH WITH 113 WINDOW.
 SCCH = 0.4



2nd FLOOR NEW WINDOWS
 PROVIDE ALTERNATE PRICE TO INSTALL NEW ALUMINUM WINDOW AT 2ND FLOOR LEVEL EAST BUILDING.
 INSTALL ALUMINUM WINDOW TO MATCH EXISTING.
 MATCH WITH 113 WINDOW.
 TYPED TEMPERED GLASS, THERMAL DOUBLE GLAZED.
 MATCH WITH 113 WINDOW.
 SCCH = 0.4

OUTLINE OF EXISTING MAJORET AND SECOND FLOOR IN FRONT OF WINDOW.

This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR

<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> REVISION PERMIT
<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> TENDER
<input type="checkbox"/> SITE PLAN APPROVAL	<input type="checkbox"/> CONSTRUCTION

DATE: 2018.06.25

NOTE: CONDITION OF EXISTING BUILDING ARE TO BE USED FOR TYPICAL CONSTRUCTION CONDITION BEFORE CONSTRUCTION AND DISTING ANY DISCREPANCIES TO SPH ENGINEERING

REV.	DESCRIPTION	DATE
1	NEW WINDOW AT GND FLOOR NEW BLDG ON EAST BLDG	2018-06-25

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.
 BUILDING EXTERIOR RENOVATIONS

SOUTH ELEVATION (NEW CONSTRUCTION)

DESIGNER	PIV	CHECKED	JH
DATE	JUNE 6, 2018	NOTED	AS NOTED
PROJECT NUMBER	17237	PROJECT SIZE	244.56
PROJECT NAME	17237/Main4	SCALE	A4.2



SECTION 1
 AT 1/2" = 1'-0" SCALE: 1/2" = 1'-0"

SECTION 2
 AT 1/2" = 1'-0" SCALE: 1/2" = 1'-0"

SECTION 3
 AT 1/2" = 1'-0" SCALE: 1/2" = 1'-0"

NOTE:
 CONTRACTOR TO DOCUMENT EXISTING OR FEATURES OF BRICK AND STONE SILLS BEFORE REMOVING EXISTING BRICK TO ALLOW FEATURES TO BE DUPLICATED IN NEW BRICK EXTENSION.

This drawing is the property of SPH Engineering Inc and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR

<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> BUILDING PERMITS
<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> TENDER
<input type="checkbox"/> SITE PLAN APPROVAL	<input type="checkbox"/> CONSTRUCTION

DATE: 2018-06-25

NOTE:
 THE DESIGN OF EXISTING BUILDING ARE TO BE USED FOR TENDERING PURPOSES. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING

REVISIONS

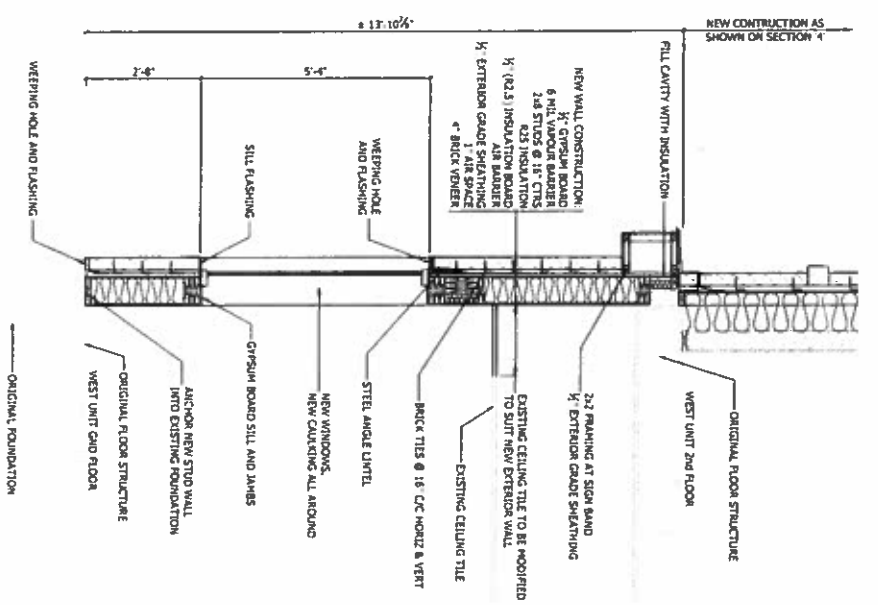
REV	DESCRIPTION	DATE
1	REMOVE BRICK ABOVE 2nd FLOOR ON SECT. 2 & 3	2018-06-25

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

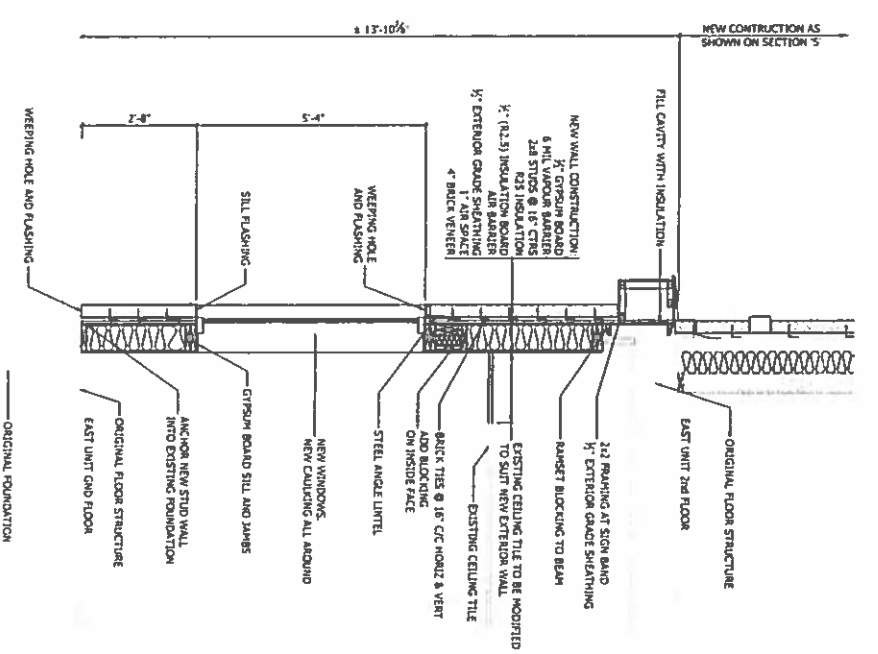
DEMOLITION BUILDING SECTIONS

DATE:	REVISED:
P/V	JH
DATE:	SCALE:
JUNE 6, 2018	AS NOTED
PROJECT NO.:	PROJECT SIZE:
17237	2.4 x 3.6
PROJECT NAME:	DATE:
17237 Main 4	2.4 x 3.6
PROJECT NO.:	PROJECT SIZE:
17237 Main 4	2.4 x 3.6

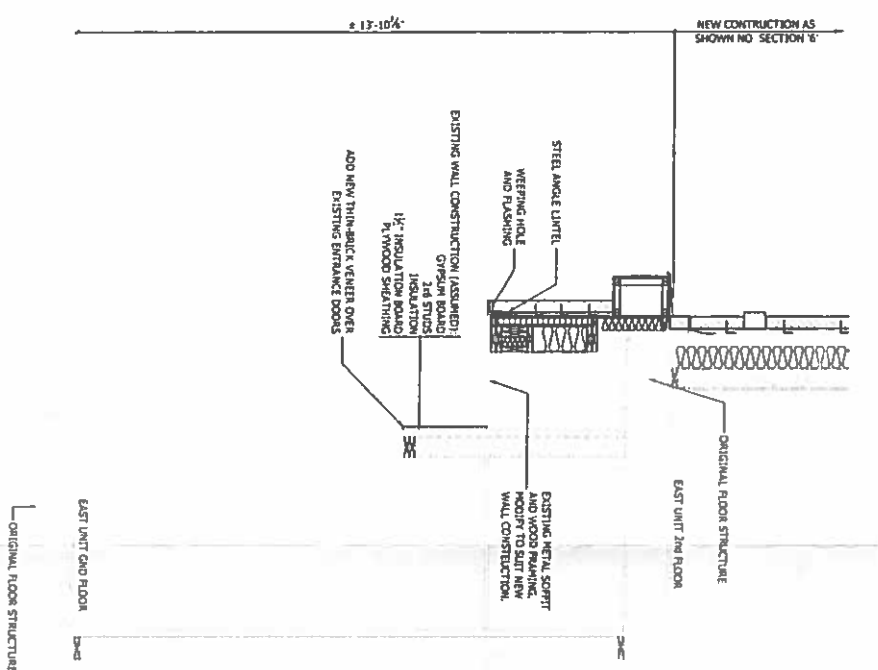
SPH ENGINEERING INC.
 65 SPRINGBANK AVE N
 UNIT #1
 WOODS TOWER, ONTARIO
 N4S 8V8
 TEL 519-539-5700
 FAX 519-539-5775



7 SECTION
A1.2 SCALE 1/2"=1'-0"



8 SECTION
A1.2 SCALE 1/2"=1'-0"



9 SECTION
A1.2 SCALE 1/2"=1'-0"

This drawing is the property of SPH Engineering Inc and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR
 PRELIMINARY
 CLIENT REVIEW
 DESIGN APPROVAL
 CONSTRUCTION

DATE: 2018-05-25
 NOTE: DIMENSIONS OF EXISTING BUILDING ARE TO BE VERIFIED BY THE ARCHITECTOR TO SITE VERIFY ALL DIMENSIONS AND REPORT CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

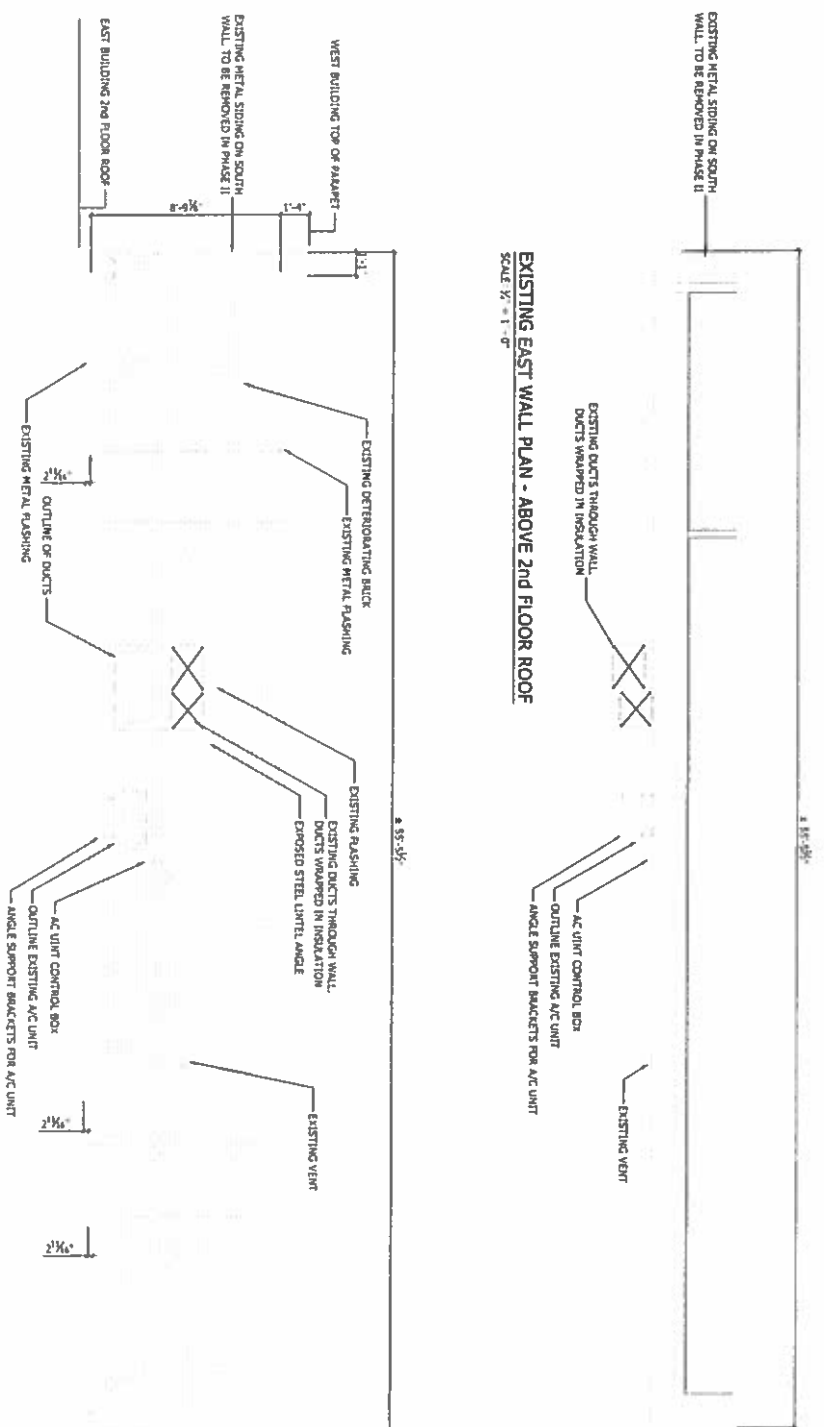
REV	DESCRIPTION	DATE

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

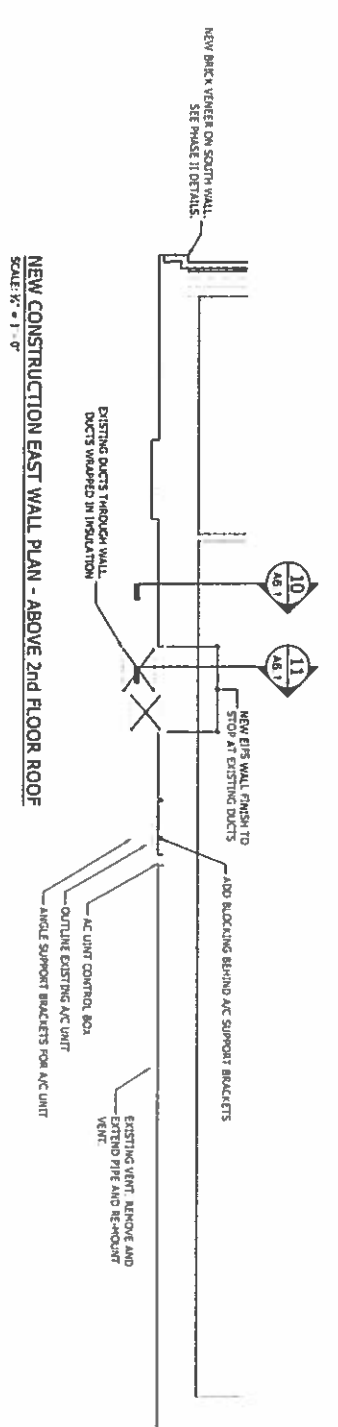
NEW CONSTRUCTION BUILDING SECTIONS ALTERNATE

DATE:	PIV	JH
DATE:	JUNE 6, 2018	AS NOTED
PROJECT NUMBER:	17237	24.35
PROJECT NAME:	17237Main4	A5.3

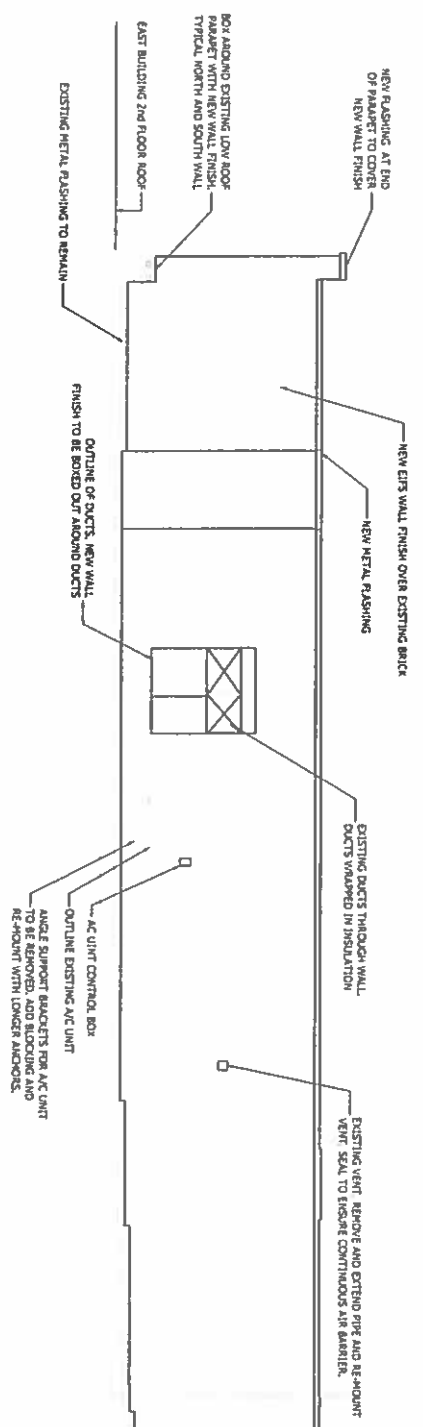
SPH ENGINEERING INC.
 65 SPRINGBANK AVE N
 UNIT #1
 WOODS BLDG. UNIT 1, K1U
 N4S 8V8
 TEL: 519-539-5700
 FAX: 519-539-5775



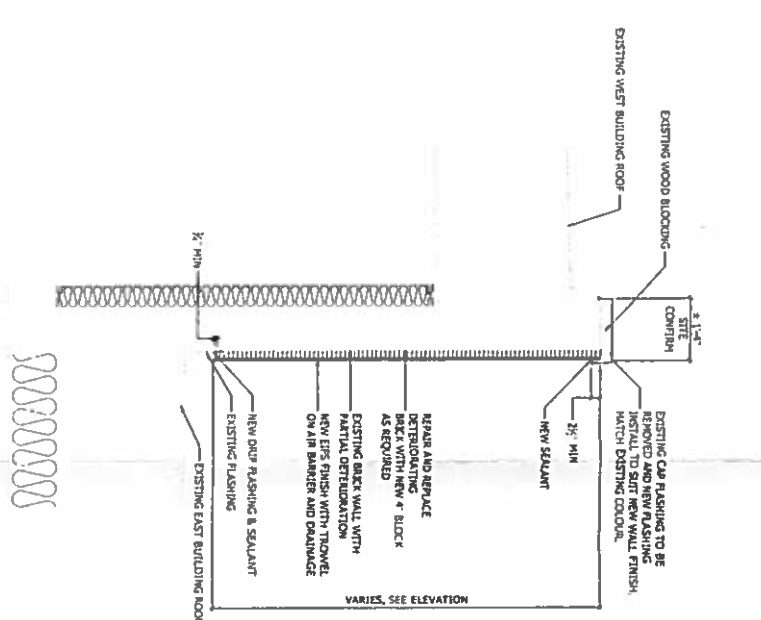
EXISTING EAST ELEVATION - ABOVE 2ND FLOOR ROOF
SCALE 1/4" = 1'-0"



NEW CONSTRUCTION EAST WALL PLAN - ABOVE 2ND FLOOR ROOF
SCALE 1/4" = 1'-0"

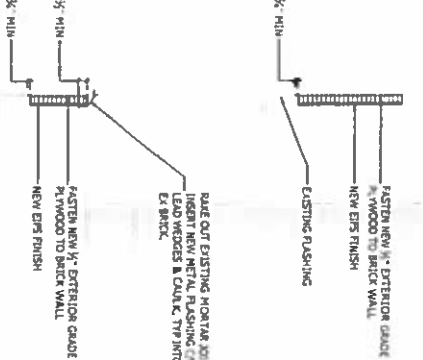


NEW CONSTRUCTION EAST ELEVATION - ABOVE 2ND FLOOR ROOF
SCALE 1/4" = 1'-0"



10 SECTION
SCALE 1/2" = 1'-0"

THIS SECTION REPRESENTS AN APPROXIMATE CONSTRUCTION OF EAST WALL. SOME INFORMATION IS ASSUMED BECAUSE IT IS NOT ACCESSIBLE FOR VIEWING.



11 SECTION
SCALE 1/2" = 1'-0"

This drawing is the property of SPH Engineering Inc and is not to be copied or distributed for any reason or by any means without the permission of the owner



ISSUED FOR

<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONTRACTOR PREPARED
<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> FINER
<input type="checkbox"/> SITE MAN APPROVAL	<input type="checkbox"/> CONSTRUCTION

DATE: 2014-06-25

NOTE: DIMENSION OF EXISTING BUILDING ARE TO BE USED FOR TYPING PURPOSES. CONTRACTOR TO SITE VERIFY ALL DIMENSION AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING

REV	DESCRIPTION	DATE

YUREK
519 TALBOT STREET
ST. THOMAS, ON.

BUILDING EXTERIOR
RENOVATIONS

EAST WALL
PLAN
PHASE III

DATE	BY	APP'D
JUNE 6, 2018	PJV	JH
DATE	BY	APP'D
17237		
PROJECT NO.		
17237Main4		
SCALE		
A6.1		

SPH ENGINEERING INC.
63 SPRINGBANK AVE N
UNIT #1
WOODS FORD, ONTARIO
M4S 1V8
TEL: 519-539-5700
FAX: 519-539-5775





MEMO

City of St. Thomas
Received

OCT 11 2018

City Clerks Dept.

DATE: October 10th, 2018

ATTENTION: Melanie Knapp, Secretary, Municipal Heritage Committee

SUBJECT: Heritage Alteration Permit
389 & 393 Talbot Street West
HAP-01-18

Please find attached a notice of receipt for Heritage Alteration Permit within the City of St. Thomas. The applicant has consulted with Planning & Building Services Department Staff and the application has been deemed complete.

As per the Heritage Alteration Permit process, the attached material is being provided for your circulation to the Municipal Heritage Committee for consideration and recommendation to Council. In scheduling a meeting with the Municipal Heritage Committee and the applicant, please copy the Planning & Building Services Department for our records.

Through the consultation process, Planning & Building Staff do not have any additional comments for the Municipal Heritage Committee's consideration.

If you have any questions, please contact the Planning & Building Services Department.

Regards,



Crystal Penney
Planning & Building Services Coordinator



NOTICE OF RECEIPT FOR HERITAGE ALTERATION PERMIT
(Section 42(3) of the Ontario Heritage Act, R.S.O. 1990, c. O.18, as amended)

October 10th, 2018

Craig Hansford
543 Oakridge Drive
London, Ontario
N6H 3E8

Re: Notice of Receipt
Heritage Alteration Permit
File No.: HAP-01-18
Property: 389 & 393 Talbot Street West

Pursuant to Section 42(3) of the Ontario Heritage Act, as amended, this letter is notice that the information and material required through the City of St. Thomas' Application for Heritage Alteration Permit has been provided and the application is thereby considered complete.

Council of the City of St. Thomas has 90 days from the issue of receipt of this notice to make a decision to grant or refuse this application.

The Secretary of the Municipal Heritage Committee has been circulated this notice and application for inclusion on the next available meeting agenda date. You will receive a separate notice of confirmation of your Municipal Heritage Committee meeting date and time. It is advisable for you or a representative to attend this meeting to present and respond to questions on your Heritage Alteration Permit application.

Please contact the Planning & Building Services Department at 519-633-2560 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "Jim McCoomb".

Jim McCoomb
Manager of Planning Services

cc: Melanie Knapp, Corporate Administrative and Accessibility Clerk, City of St. Thomas

Corporation of the City of St. Thomas

APPLICATION FOR A HERITAGE ALTERATION PERMIT

Pursuant to Section 33(2) and Section 42(2.1) of the Ontario Heritage Act

OFFICE USE:	Date Application Received: <u>OCT 04 2018</u>	Consultation Date: <u>May 8/18 / Oct 4/18</u>
	Date Application Deemed Complete: <u>OCT 10 2018</u>	File Number: <u>HAP 01-18</u>

OWNER/APPLICANT

1. Property Owner
 Name: Craig Hansford (2436069 Ontario Ltd.)
 Address: 543 Oakridge Drive London Ontario
 Postal Code: N6H 3E8 Phone: 519 520 0226 Fax: _____
 Email: info@maverickrealestateinc.com

2. Agent/Applicant
 Name: _____
 Company: _____
 Address: _____
 Postal Code: _____ Phone: _____ Fax: _____
 Email: _____

Who is the primary contact?

Registered Owner Applicant/Agent

*Note: Unless otherwise requested all communications will be sent to the Applicant.

*Please indicate the method of communication you would like to be contacted by.

Phone Email Fax Mail

PROPERTY INFORMATION

1. Municipal Address: 389 + 393 Talbot St West St Thomas
ON

2. Legal Description: pt Lt 2 BTN Talbot St And Lawrence St PC 37
St Thomas as in E420666; S/T Interest E420666; St. Thom

SUMMARY OF WORK PROPOSED

1. What kind of permit is required?

Alteration to Building/Property New Construction Demolition

2. Check all types of work that would happen in your proposed project:

- demolition of a building or part of a building, such as a building façade
- removal of a building to a different location on site or to another site
- erection of a new building, a new façade, a new storefront, an addition to an existing building, a new garage or a new fence or wall
- structural intervention that affects the external appearance of a building
- repointing and repairing masonry, cleaning masonry of paint or grime, or painting or staining
- removal of parging, External Insulation and Finish System, siding or façade screen from walls or installation of new wall material to replace or cover existing wall material
- alteration of doors and windows, their heads and their surrounds, or cutting of new door and window openings in walls
- alteration of roofline or skyline by changes to cornices, overhangs, eaves, parapets, chimneys, domers, rooftop equipment, towers and roof shape, or alteration of historic roof coverings such as slate
- removal or addition of architectural detail, such as storefront cornices, decorative brickwork, stone trim, brackets, window shutters, awnings, porches and balconies
- erection of a sign
- alteration of streets and their boulevards, squares, parking lots

3. Please list below, any documents included with this submission (drawings, site plan, specifications, photographs and other documents as needed to illustrate the project). Requirements will depend on the scale of the project.

Front elevations, 1 Proposed structural drawings,
& conceptual drawings of front.

4. Explain the reasons for undertaking the alterations and describe how the proposal conforms to the Part IV individual designation by-law or Part V Heritage Conservation District Plan design guidelines. Attach additional page(s) if needed.

Reasons for Alterations is a general cleanup
& aesthetics. It will conform because
we are keeping all the original Brick &
working with Heritage & CIP to make
project suitable.

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Ontario Heritage Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. In accordance with the Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I Craig Hanstavel, the Owner or Authorized Agent, hereby agree and acknowledge that the
(Print name of Owner or Authorized Agent)

information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. The information will be used for the purposes of administering the heritage permit application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. Questions about this collection should be directed to the Director of Planning and Building Services, 9 Mondamin Street, St. Thomas, Ontario, N5P 2T9, (519) 633-2560.

AFFIDAVIT OR SWORN DECLARATION

I, Craig Hanstavel of St Thomas in the province of Ontario,
name of applicant City

make oath and say (or solemnly declare) that the information required under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the City of St Thomas on this 4th day of October, 2018.
City Day Month Year

Craig Hanstavel
Signature of Owner or Authorized Agent

October 4th 2018
Date

Crystal Marie Penney
Signature of Commissioner of Oaths, etc.

October 4, 2018
Date


Crystal Marie Penney, a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of St. Thomas.
Expires September 18, 2019.

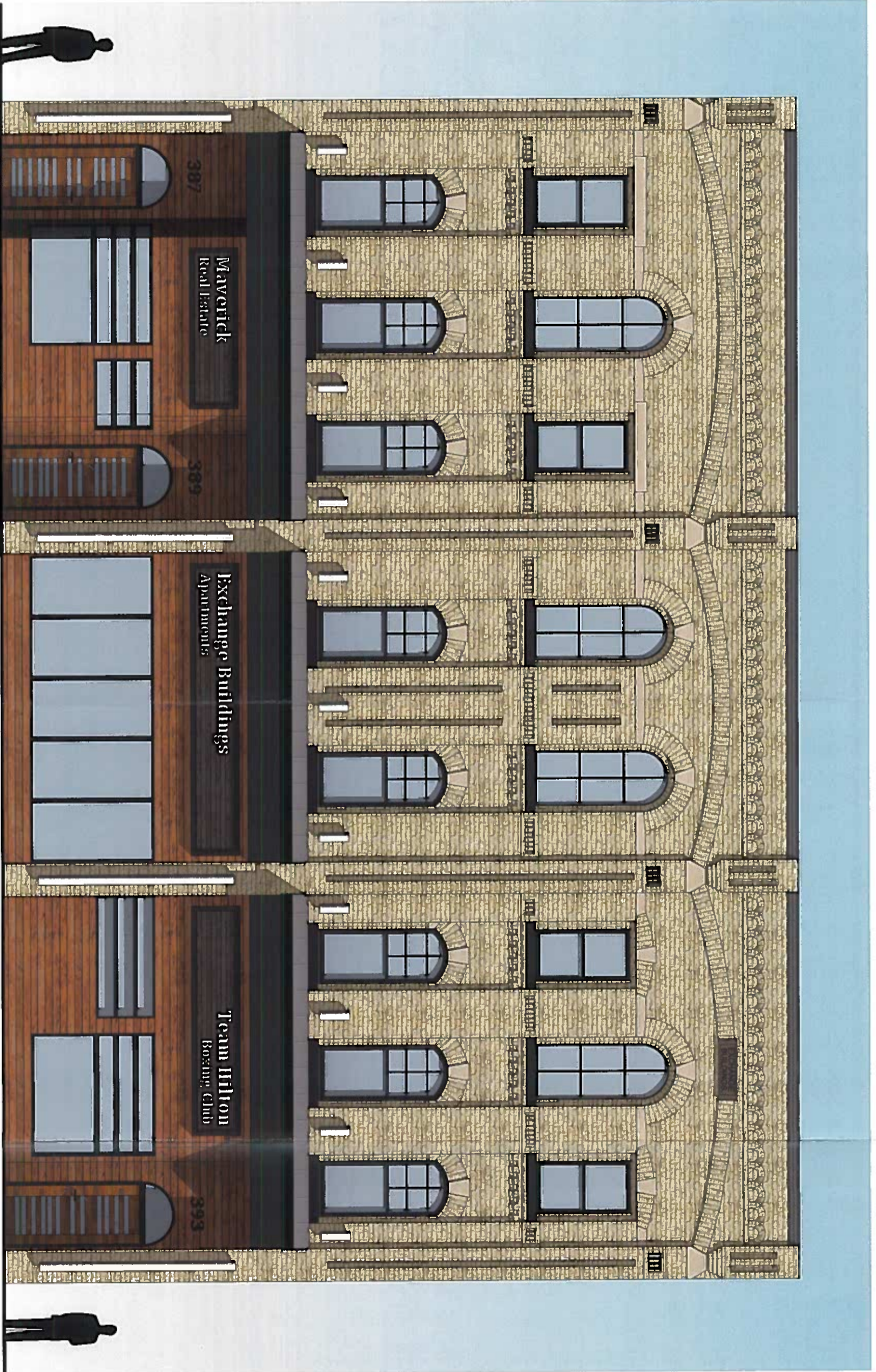
APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Craig Hansford, am the owner of the subject lands, and I authorize Craig Hansford, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

October 4th 2018
Date


Signature of Owner



Front Elevation (South)
 3/16" = 1'-0"

231 Wharncliffe Rd S, Suite 201
 London, Ontario (N6J 2L3)
 Phone: (519) 615-8508
 dwayne@dcduckengineering.com

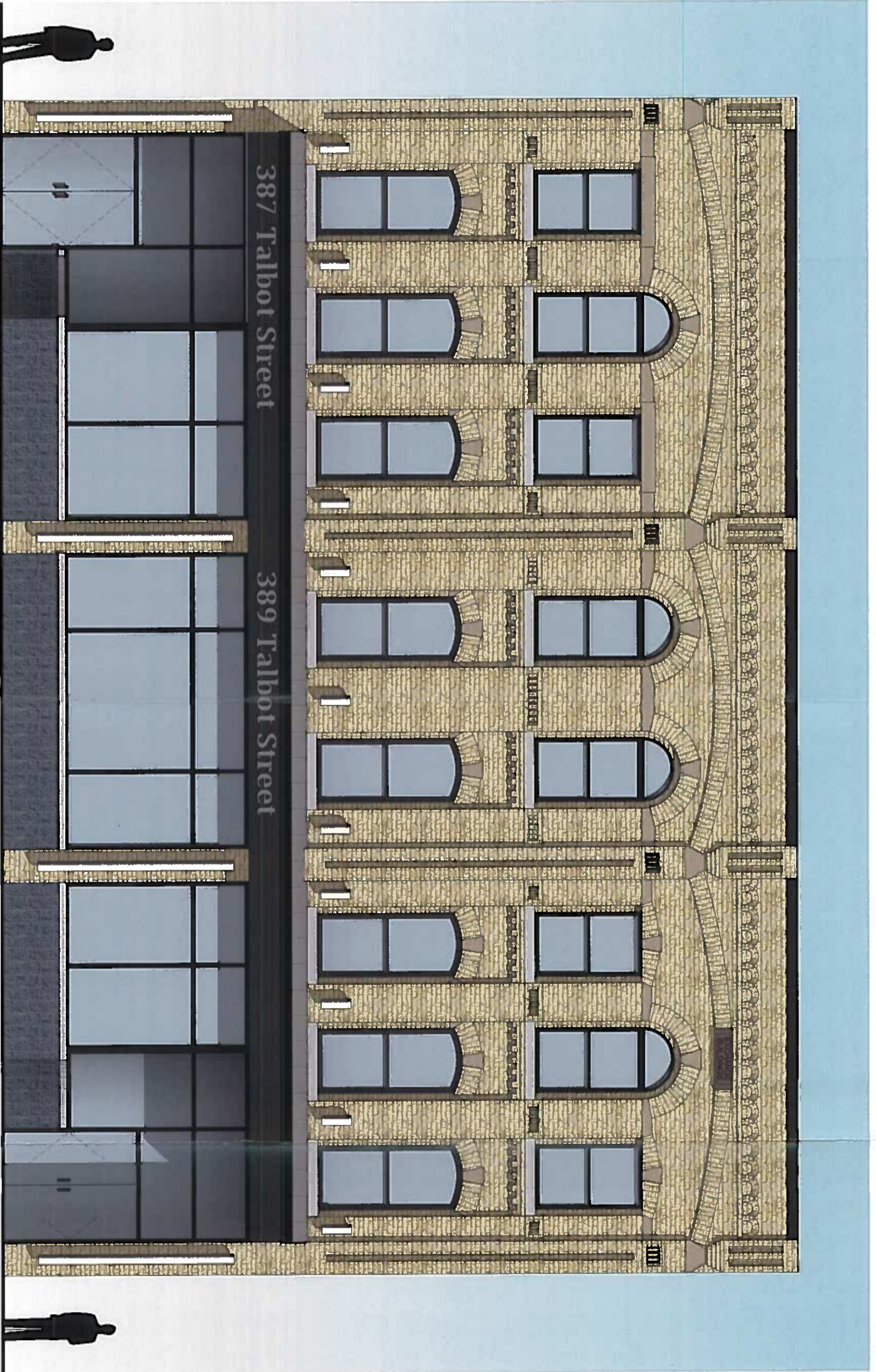


Renovation

387-393 Tablot St. - St. Thomas
 Craig Hansford

Elevation

April, 23, 2018
 101018



Front Elevation (South)
3/16" = 1'-0"

231 Wharncliffe Rd. S, Suite 201
London, Ontario (N6J 2L3)
Phone: (519) 615-8508
dwayne@dcduckengineering.com



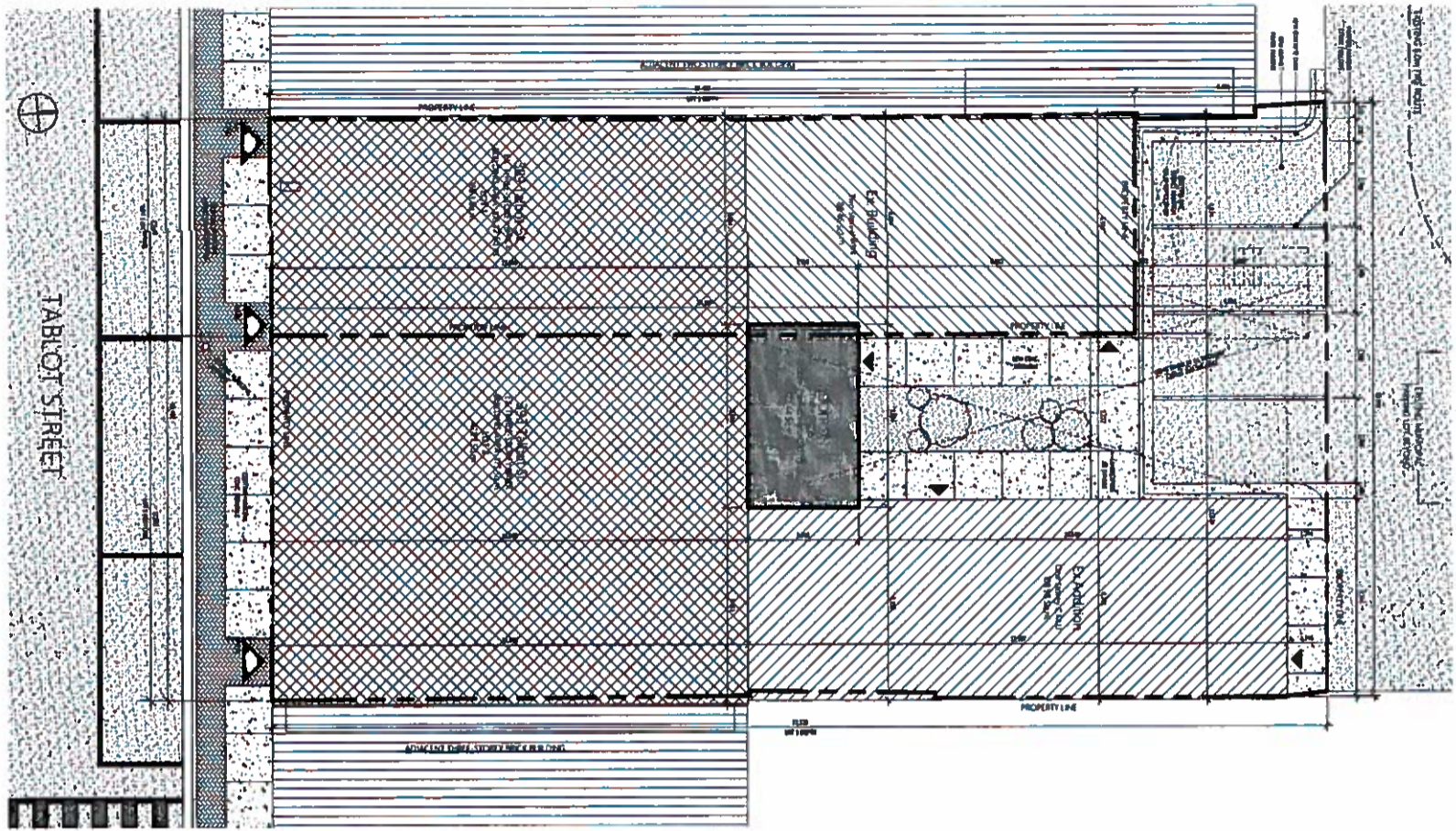
Renovation

393 Tablot St. - St. Thomas
Craig Hansford

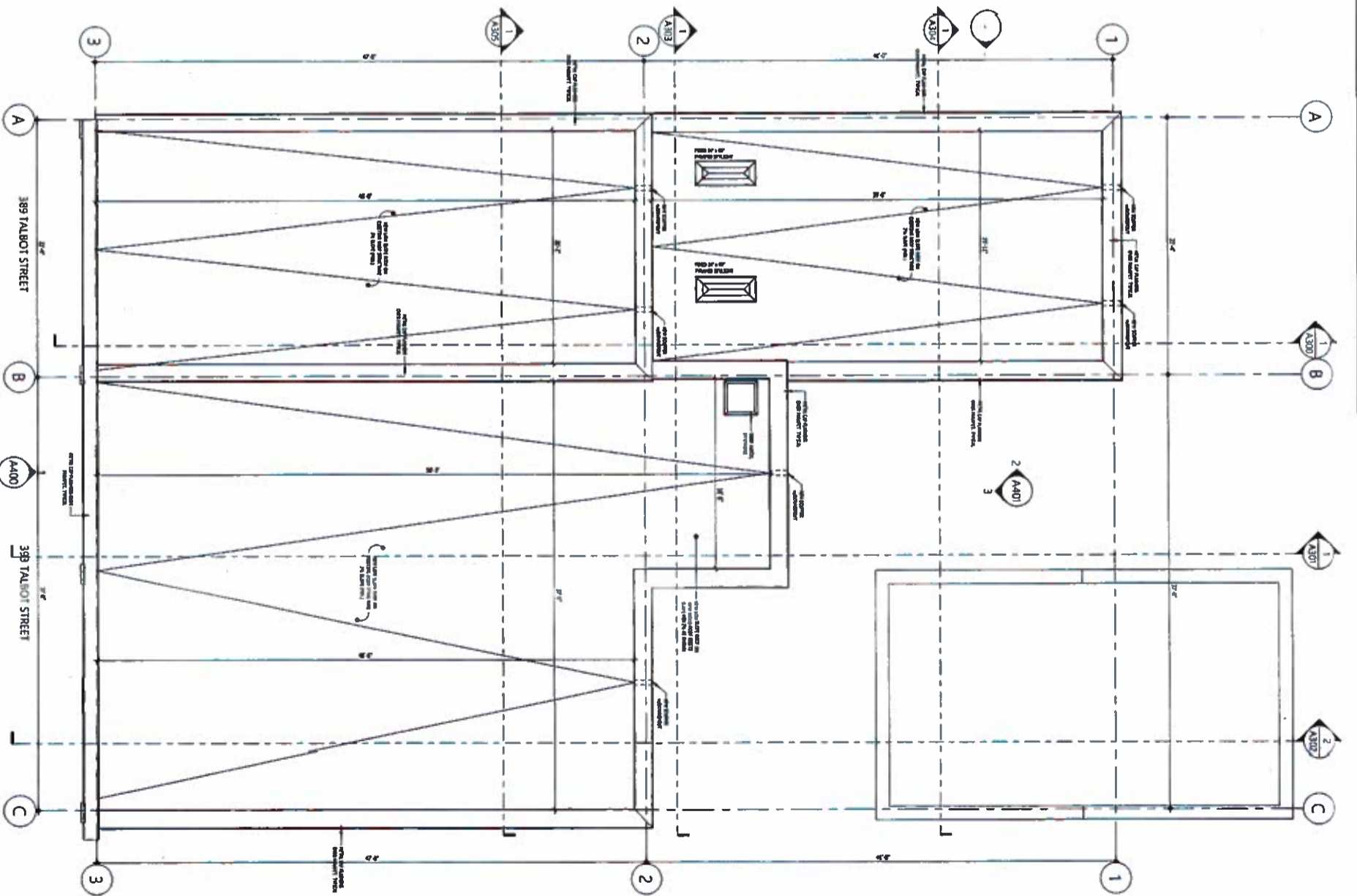
Elevation

Feb. 26, 2018
101018





Site Plan
3/8" = 1'-0"



Roof Plan
3/8" = 1'-0"

- GENERAL NOTES**
1. Contractor shall obtain all necessary permits and approvals.
 2. All work shall be in accordance with the latest editions of the applicable codes and standards.
 3. All materials, workmanship and construction shall be subject to inspection and approval by the authority having jurisdiction.
 4. The contractor shall be responsible for obtaining all necessary permits and approvals.
 5. The contractor shall be responsible for obtaining all necessary permits and approvals.

CLIENT
Craig Hinshelwood

PROJECT
Interior Renovation & Addition

PROJECT NO. 238018
SHEET NO. SPT1.1

DATE 11/20/2018

SCALE 3/8" = 1'-0"

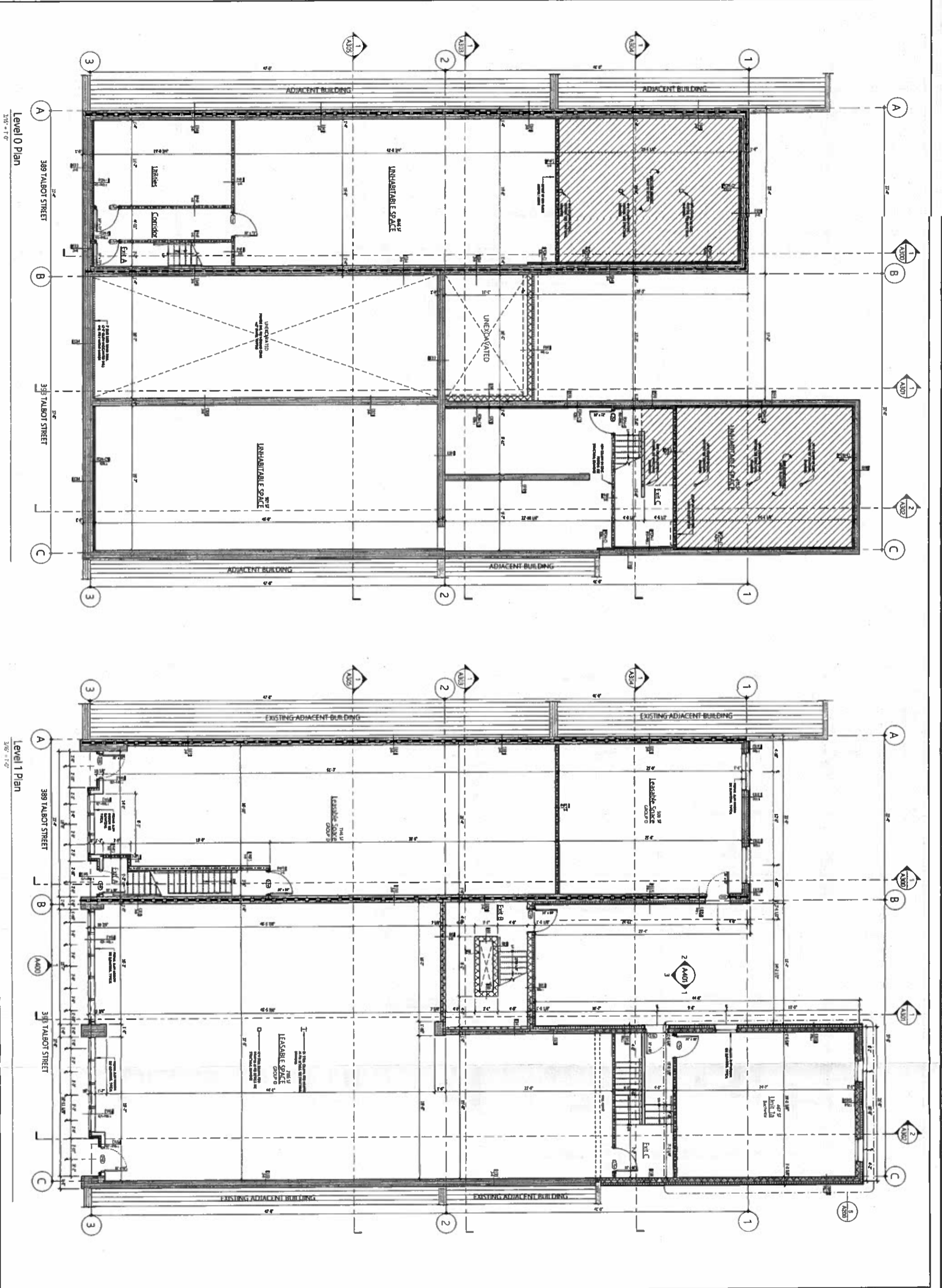
PROJECT LOCATION 389 Talbott Street, St. Charles, Missouri

DESIGNED BY [Signature]

CHECKED BY [Signature]

DATE 11/20/2018

PROJECT NO. 238018
SHEET NO. SPT1.1



- GENERAL NOTES:**
1. Contractor shall verify all dimensions and locations of existing conditions and report any discrepancies to the architect immediately.
 2. All work shall be in accordance with the approved plans and specifications.
 3. All materials and workmanship shall conform to the approved specifications.
 4. All work shall be performed in accordance with the approved specifications and the latest edition of the CALIFORNIA BUILDING CODE (CBC) and all applicable local codes and ordinances.
 5. All work shall be subject to inspection and approval by the architect.

CLIENT: Craig Handford

PROJECT: Interior Renovation & Addition

DATE: 08/13/2018

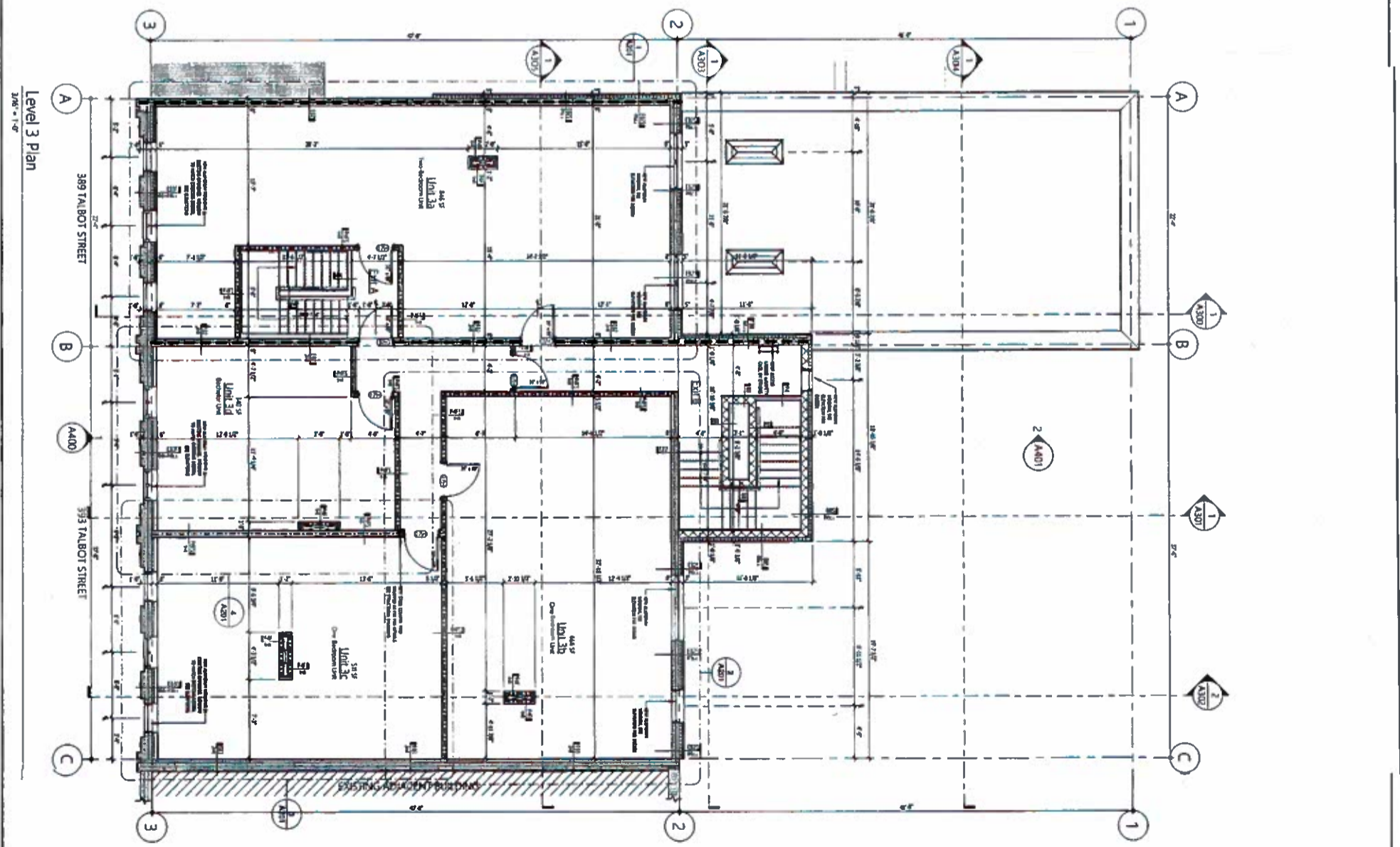
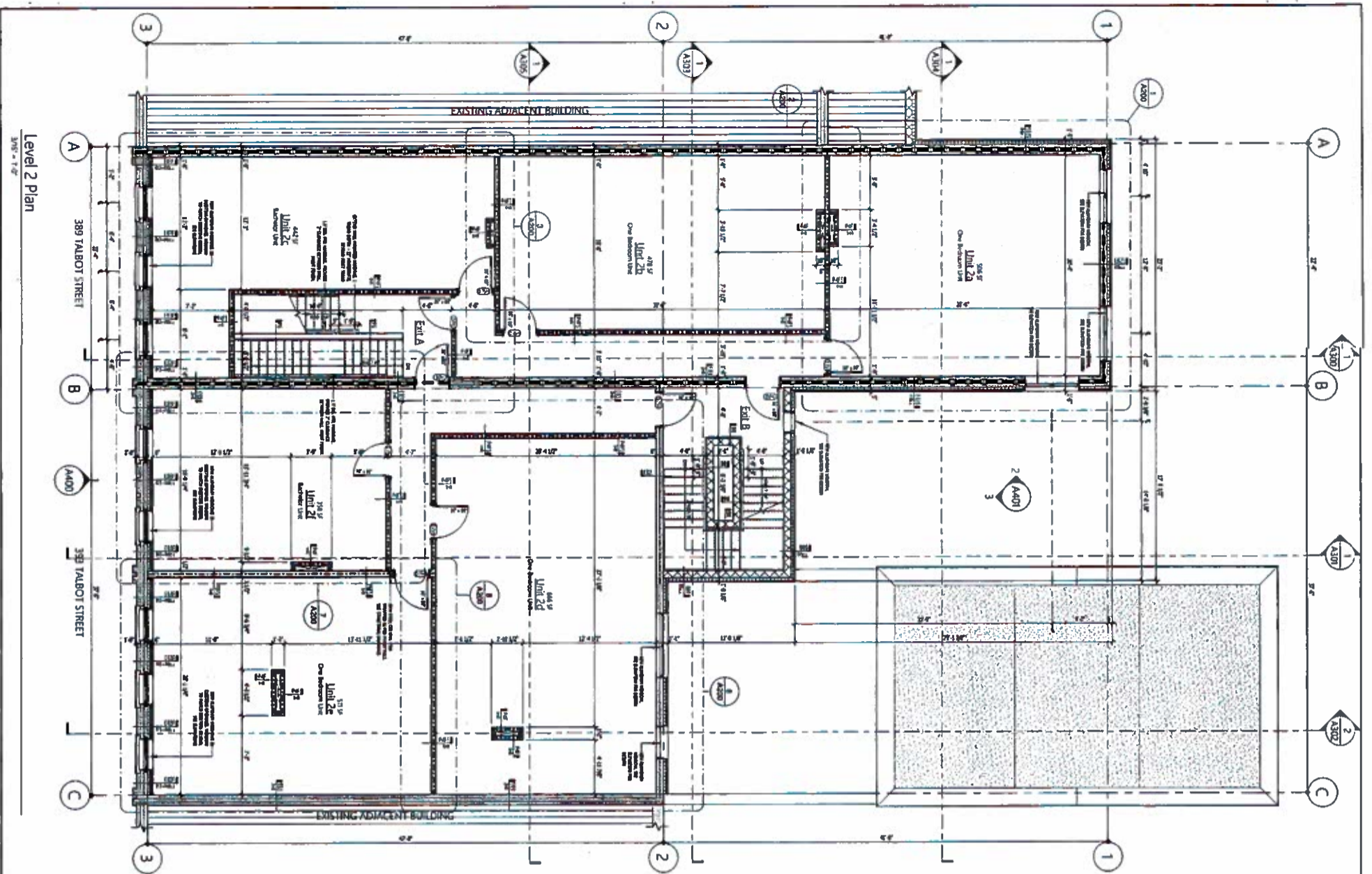
PROJECT No.: 238018 A100 01

ARCHITECT: DCSBLICK ARCHITECTURE INC. 2775 Linden Avenue, Suite 100, San Francisco, CA 94134

NO.	DESCRIPTION	DATE
1	Initial Set of Plans	08/13/2018
2	Revised Set of Plans	08/13/2018
3	Final Set of Plans	08/13/2018

FLOOR PLANS

Level 0 Plan
Level 1 Plan

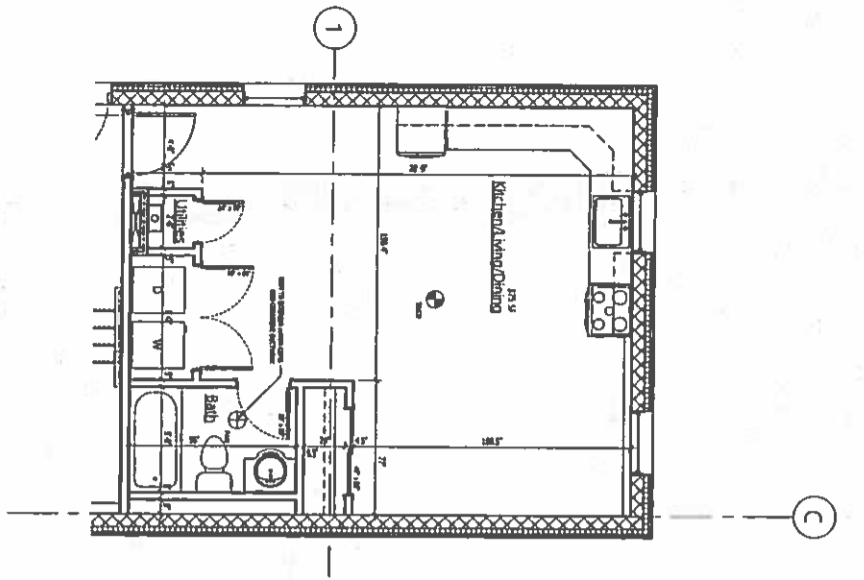


CRITICAL NOTES

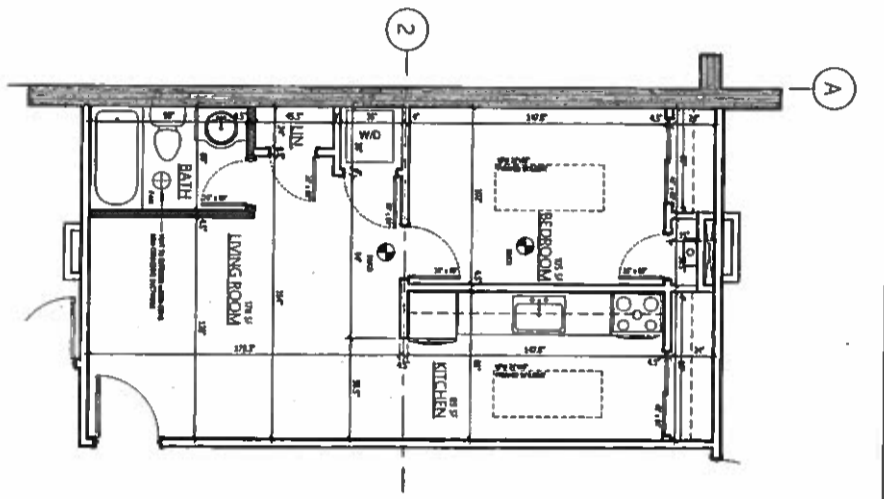
1. Details and notes are part of the contract documents and shall be read in conjunction with the drawings.
2. All work shall be in accordance with the current edition of the International Building Code (IBC) and the current edition of the International Mechanical Code (IMC).
3. All work shall be in accordance with the current edition of the International Fire Code (IFC).
4. All work shall be in accordance with the current edition of the International Energy Conservation Code (IECC).
5. All work shall be in accordance with the current edition of the International Plumbing Code (IPC).
6. All work shall be in accordance with the current edition of the International Electrical Code (IEC).
7. All work shall be in accordance with the current edition of the International Fire and Safety Code (IFSC).
8. All work shall be in accordance with the current edition of the International Fire and Safety Code (IFSC).
9. All work shall be in accordance with the current edition of the International Fire and Safety Code (IFSC).
10. All work shall be in accordance with the current edition of the International Fire and Safety Code (IFSC).

PROJECT: Interior Renovation & Addition
CLIENT: Craig Handford
ARCHITECT: DORRICK HEWITT ARCHITECTS
DATE: 01/15/2018
PROJECT NO.: 238018
DATE PLOTTED: 01/15/2018
SCALE: 3/8" = 1'-0"

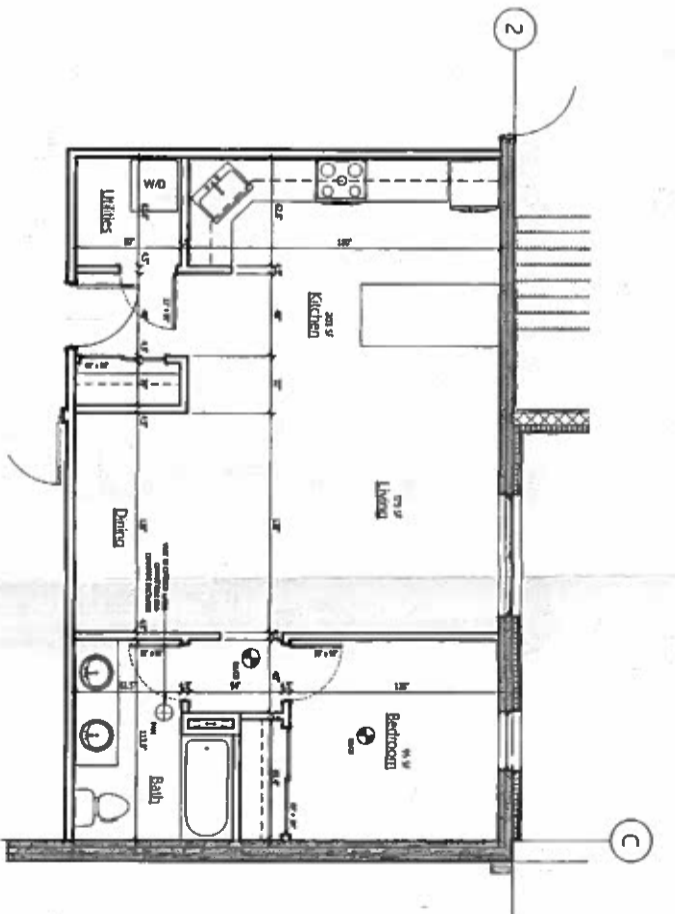
NO.	DATE	DESCRIPTION	BY	CHKD.
1	01/15/2018	ISSUED FOR PERMIT	AD	AD
2	01/15/2018	ISSUED FOR PERMIT	AD	AD
3	01/15/2018	ISSUED FOR PERMIT	AD	AD
4	01/15/2018	ISSUED FOR PERMIT	AD	AD
5	01/15/2018	ISSUED FOR PERMIT	AD	AD
6	01/15/2018	ISSUED FOR PERMIT	AD	AD
7	01/15/2018	ISSUED FOR PERMIT	AD	AD
8	01/15/2018	ISSUED FOR PERMIT	AD	AD
9	01/15/2018	ISSUED FOR PERMIT	AD	AD
10	01/15/2018	ISSUED FOR PERMIT	AD	AD



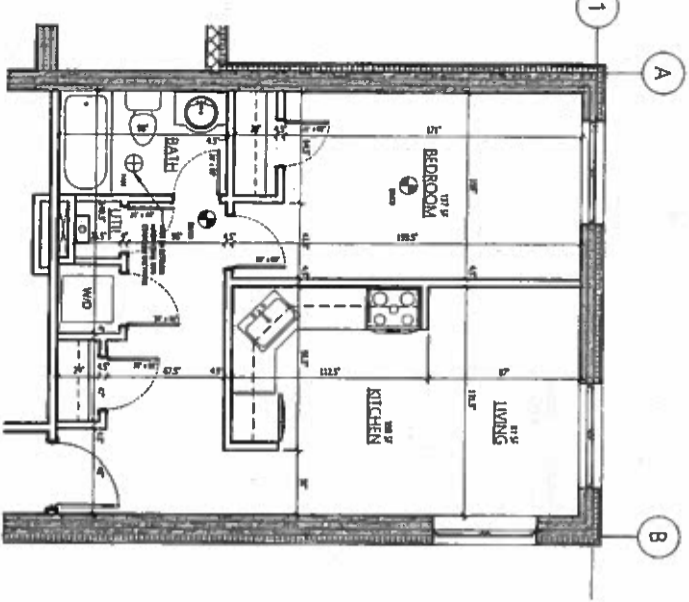
5 Unit 1a Plan
A200 W = 1'-0"



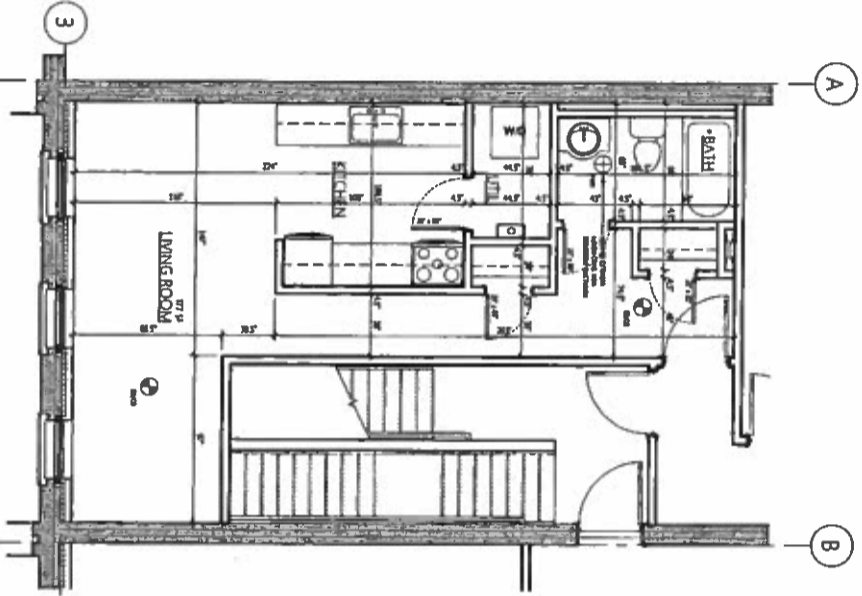
2 Unit 2b Plan
A200 W = 1'-0"



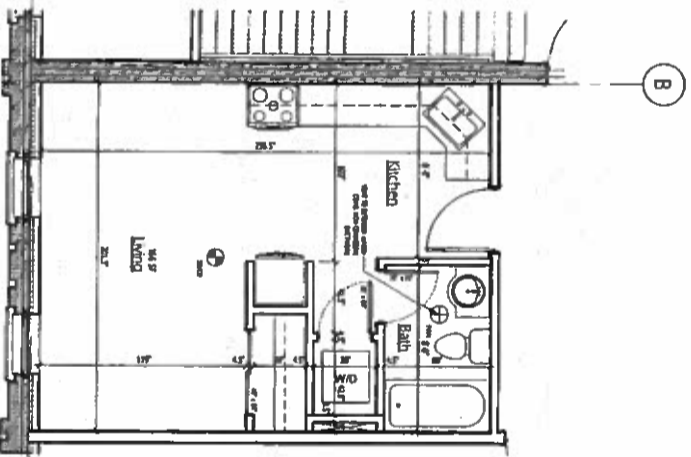
6 Unit 2d Plan
A200 W = 1'-0"



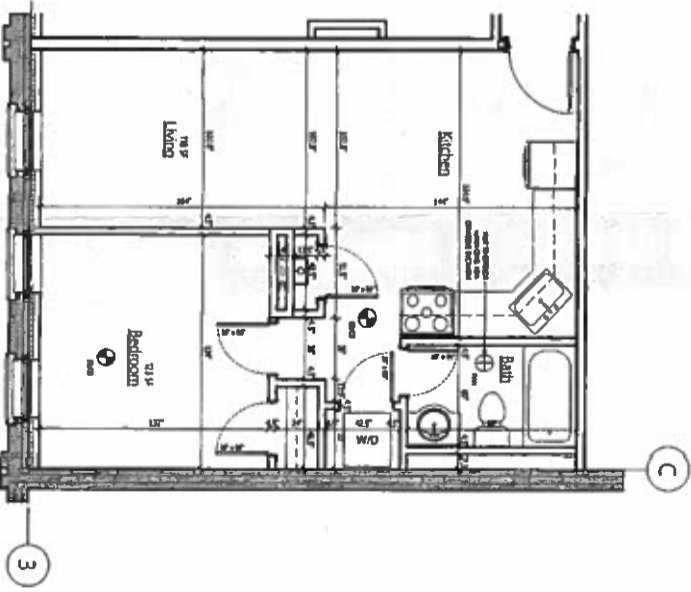
1 Unit 2a Plan
A200 W = 1'-0"



3 Unit 2c Plan
A200 W = 1'-0"



7 Unit 2f Plan
A200 W = 1'-0"



8 Unit 2e Plan
A200 W = 1'-0"

GENERAL NOTES

1. Contractor shall read and study all drawings and specifications for this project and understand the scope and intent of the drawings and specifications.
2. All work shall be in accordance with the current editions of the International Building Code (IBC) and International Residential Code (IRC).
3. All materials and workmanship shall be in accordance with the current editions of the International Building Code (IBC) and International Residential Code (IRC).
4. All work shall be in accordance with the current editions of the International Building Code (IBC) and International Residential Code (IRC).
5. All work shall be in accordance with the current editions of the International Building Code (IBC) and International Residential Code (IRC).

CLIENT
Craig Handford

PROJECT
Interior Renovation & Addition
3111 16th Ave S, Torrey, Oregon

DATE
08/20/2018

SCALE
AS SHOWN

REVISIONS

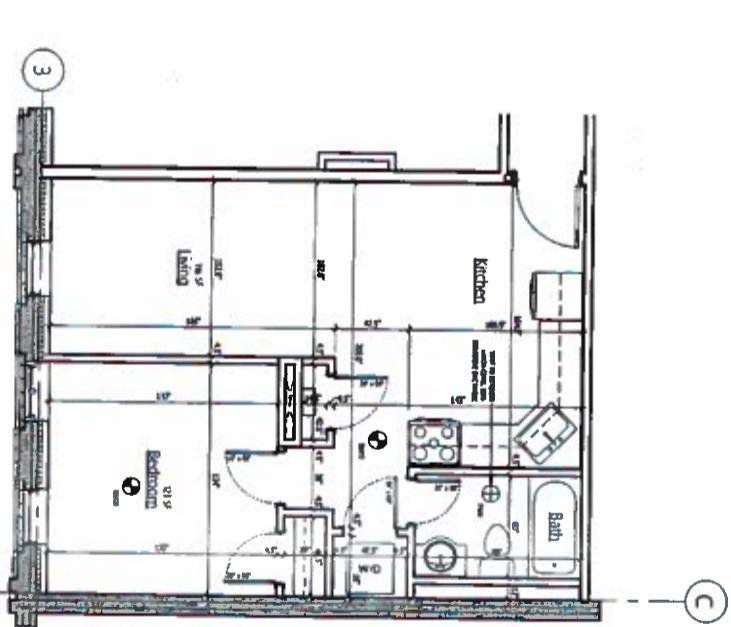
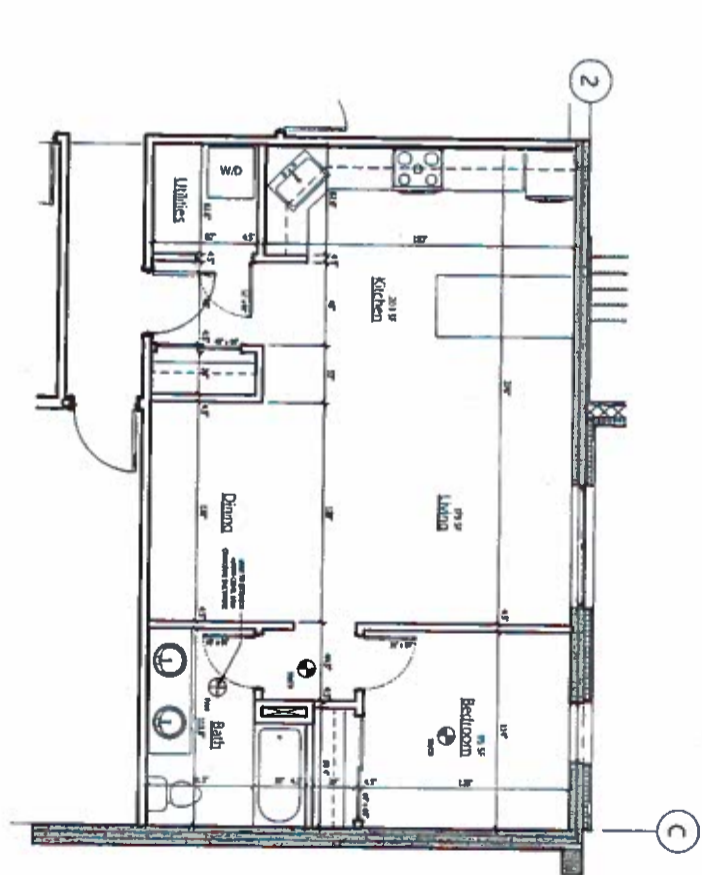
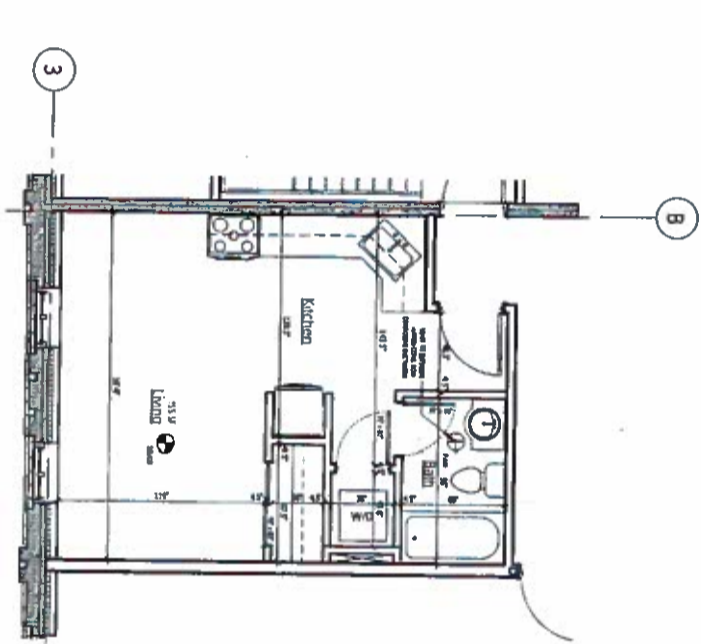
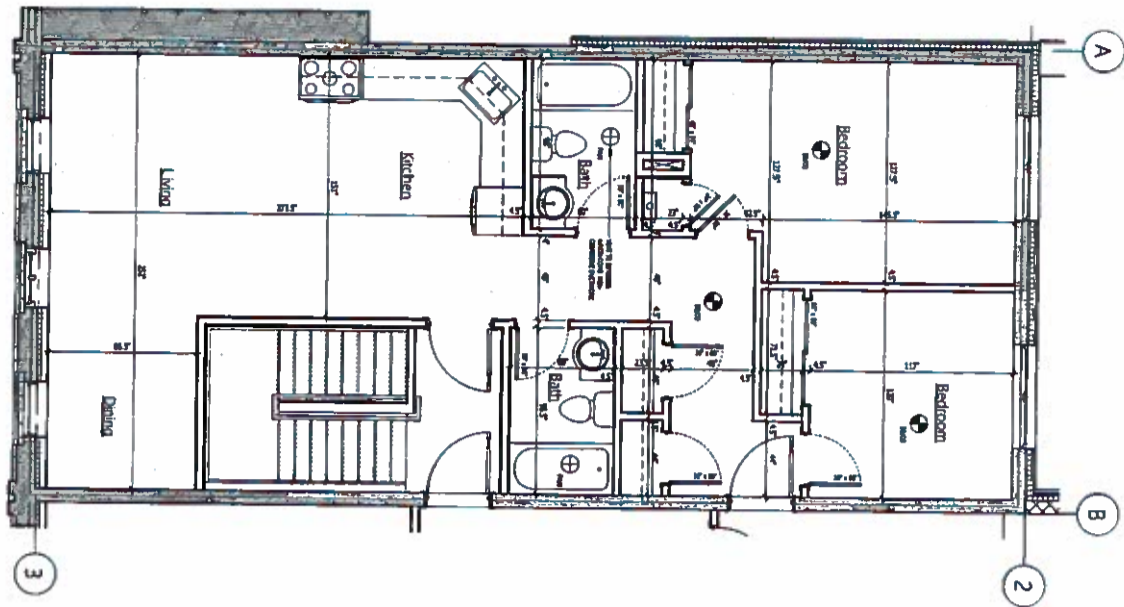
NO.	DESCRIPTION	DATE
1	Issue for Permit	08/20/2018
2	Issue for Construction	08/20/2018
3	Final	08/20/2018

DESIGNED BY
D. H. HARRIS

CHECKED BY
D. H. HARRIS

DATE
08/20/2018

PROJECT NO.
238018 A200 01



1. Contractor shall verify and verify if dimensions and locations are correct before commencing work.
2. All work shall be done in accordance with the approved plans and specifications.
3. All materials and workmanship shall be in accordance with the approved plans and specifications.
4. All work shall be done in accordance with the approved plans and specifications.
5. All work shall be done in accordance with the approved plans and specifications.

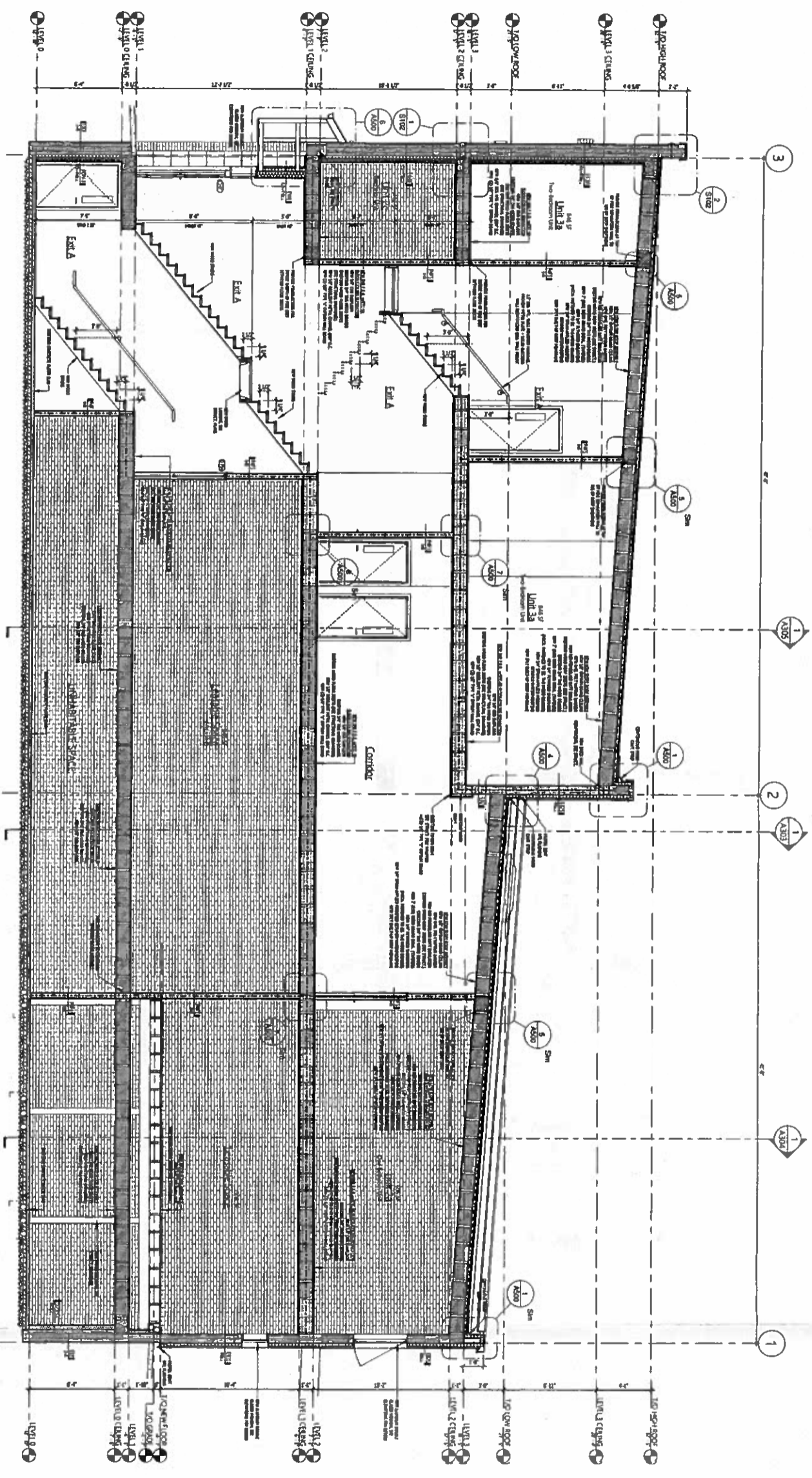
CRAY HANFORD
Interior Renovation & Addition
3 - Thomas, Chicago

DCR/CK
2777 North Lincoln Street, Suite 100
Chicago, IL 60647
Tel: 773.344.1111
Fax: 773.344.1112

NO.	DESCRIPTION	DATE	BY
1	Issue for Construction	10/15/18	CK
2	Issue for Construction	10/15/18	CK
3	Issue for Construction	10/15/18	CK
4	Issue for Construction	10/15/18	CK
5	Issue for Construction	10/15/18	CK
6	Issue for Construction	10/15/18	CK
7	Issue for Construction	10/15/18	CK
8	Issue for Construction	10/15/18	CK
9	Issue for Construction	10/15/18	CK
10	Issue for Construction	10/15/18	CK

UNIT PLANS
238018 A201 01

1 Building Section
AS00 1/8" = 1'-0"



- GENERAL NOTES**
1. Contractor shall provide and verify all dimensions and locations of existing conditions.
 2. All work shall be in accordance with the approved plans and specifications.
 3. All materials and workmanship shall conform to the approved plans and specifications.
 4. All work shall be completed in accordance with the approved plans and specifications.
 5. All work shall be completed in accordance with the approved plans and specifications.
 6. All work shall be completed in accordance with the approved plans and specifications.

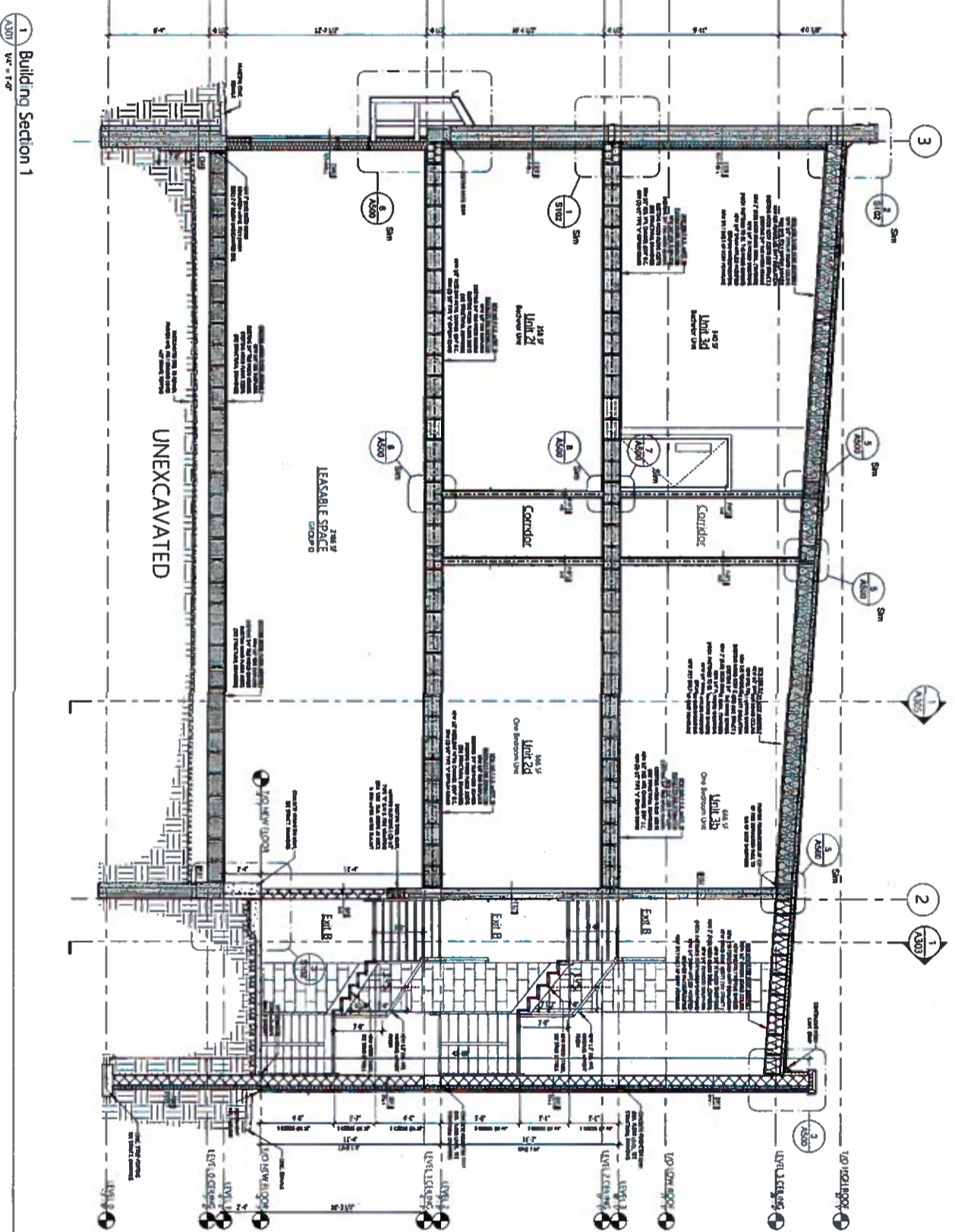
CLIENT
Craig Handford

CONSULT
Interior Renovation & Addition
3000 14th Ave S
Seattle, WA 98148

DATE
2/28/2018

PROJECT
Building Section

NO. 301
238018 AS00 01

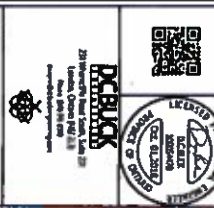


1 Building Section 1
AS01 V=1.0'

GENERAL NOTES

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
2. The contractor shall be responsible for obtaining all necessary insurance and bonding.
3. The contractor shall be responsible for obtaining all necessary safety and health training for all workers.
4. The contractor shall be responsible for obtaining all necessary safety and health equipment for all workers.
5. The contractor shall be responsible for obtaining all necessary safety and health records for all workers.
6. The contractor shall be responsible for obtaining all necessary safety and health reports for all workers.
7. The contractor shall be responsible for obtaining all necessary safety and health documents for all workers.
8. The contractor shall be responsible for obtaining all necessary safety and health information for all workers.
9. The contractor shall be responsible for obtaining all necessary safety and health knowledge for all workers.
10. The contractor shall be responsible for obtaining all necessary safety and health skills for all workers.
11. The contractor shall be responsible for obtaining all necessary safety and health abilities for all workers.
12. The contractor shall be responsible for obtaining all necessary safety and health attributes for all workers.
13. The contractor shall be responsible for obtaining all necessary safety and health characteristics for all workers.
14. The contractor shall be responsible for obtaining all necessary safety and health qualities for all workers.
15. The contractor shall be responsible for obtaining all necessary safety and health quantities for all workers.
16. The contractor shall be responsible for obtaining all necessary safety and health values for all workers.
17. The contractor shall be responsible for obtaining all necessary safety and health facts for all workers.
18. The contractor shall be responsible for obtaining all necessary safety and health details for all workers.
19. The contractor shall be responsible for obtaining all necessary safety and health information for all workers.
20. The contractor shall be responsible for obtaining all necessary safety and health knowledge for all workers.

OWNER		Craig Harshford	
PROJECT		Interior Renovation & Addition	
ADDRESS		10000 1st Street, S. Tacoma, WA 98402	
DATE		10/11/2018	
DRAWN BY		AS01	
CHECKED BY		AS01	
DATE		10/11/2018	
PROJECT NO.		238018	
SHEET NO.		01	



PROJECT
Interior Renovation & Addition
10000 1st Street, S. Tacoma, WA 98402

DATE
10/11/2018

DRAWN BY
AS01

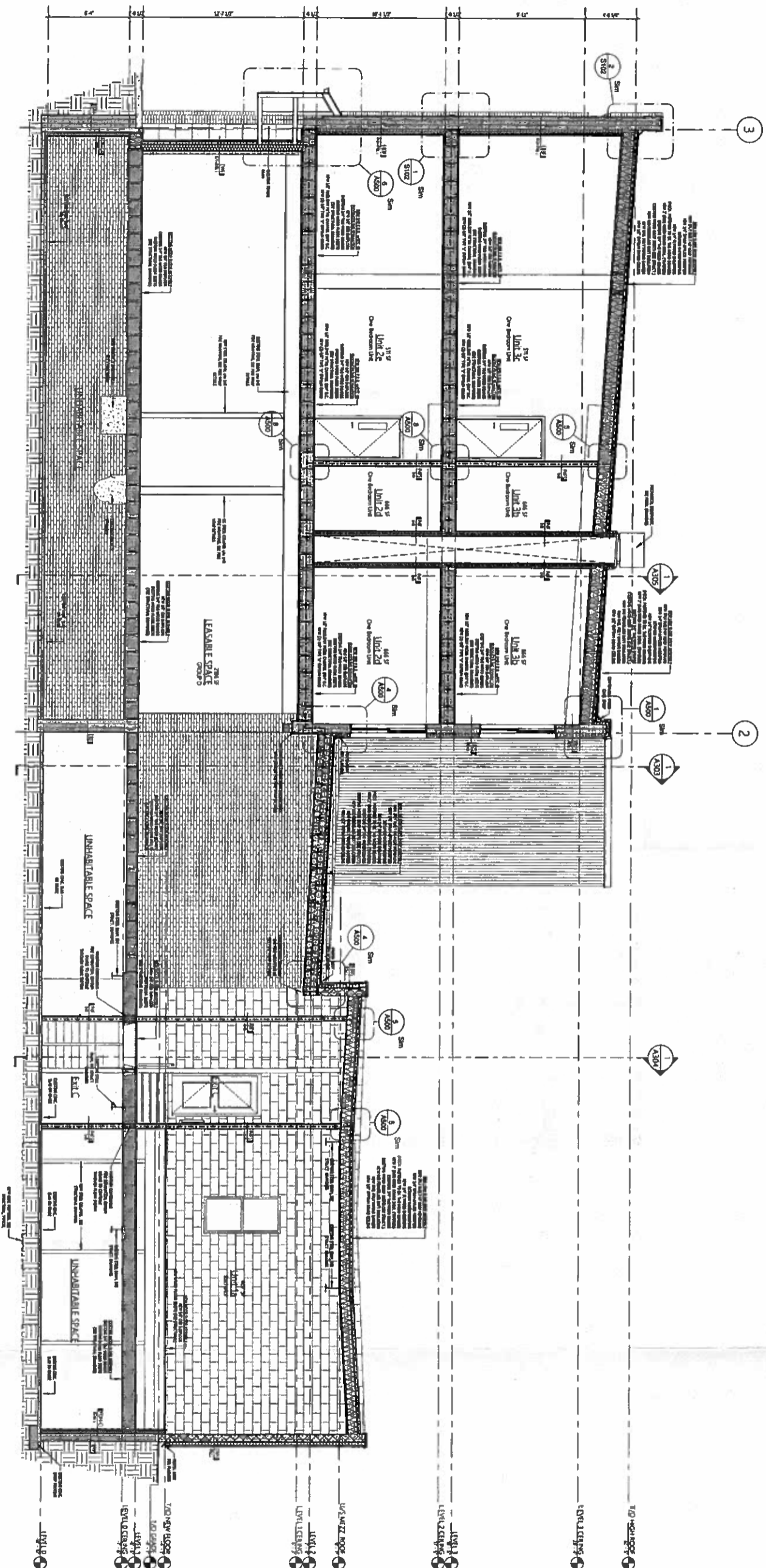
CHECKED BY
AS01

DATE
10/11/2018

PROJECT NO.
238018

SHEET NO.
01

3 Building Section 2
A302 V-11-18



- GENERAL NOTES**
1. Contractor shall verify all dimensions and locations of existing conditions prior to construction.
 2. Work shall be in accordance with the approved plans and specifications.
 3. All work shall be completed in accordance with the approved plans and specifications.
 4. All work shall be completed in accordance with the approved plans and specifications.
 5. All work shall be completed in accordance with the approved plans and specifications.
 6. All work shall be completed in accordance with the approved plans and specifications.

CLIENT
Craig Harstford

PROJECT
Interior Renovation & Addition

DATE
12/15/18

SCALE
1/8" = 1'-0"

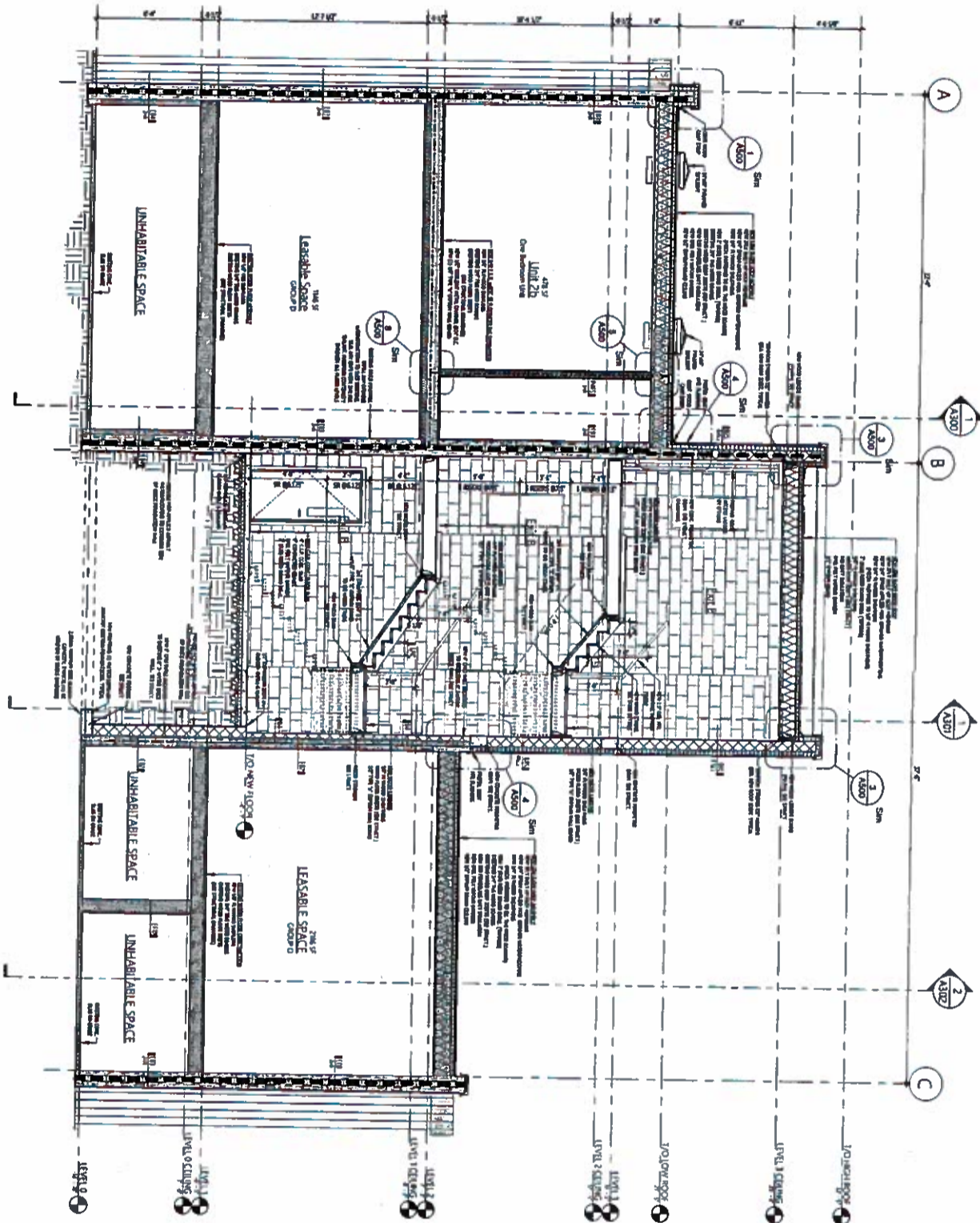
PROJECT NO.
238018 A302 01

ARCHITECT
DCHICK
2250 University Ave. Suite 200
Berkeley, CA 94704
(415) 841-1111
www.dchick.com

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/18	ISSUED FOR PERMIT
2	12/15/18	ISSUED FOR PERMIT
3	12/15/18	ISSUED FOR PERMIT

1 Building Section
A303 v1-r3



- GENERAL NOTES**
1. Contractor shall obtain and verify all drawings and specifications for work, including any Addendums, before starting work.
 2. All work shall be in accordance with the drawings and specifications.
 3. All work shall be done in accordance with the drawings and specifications.
 4. All work shall be done in accordance with the drawings and specifications.
 5. All work shall be done in accordance with the drawings and specifications.
 6. All work shall be done in accordance with the drawings and specifications.

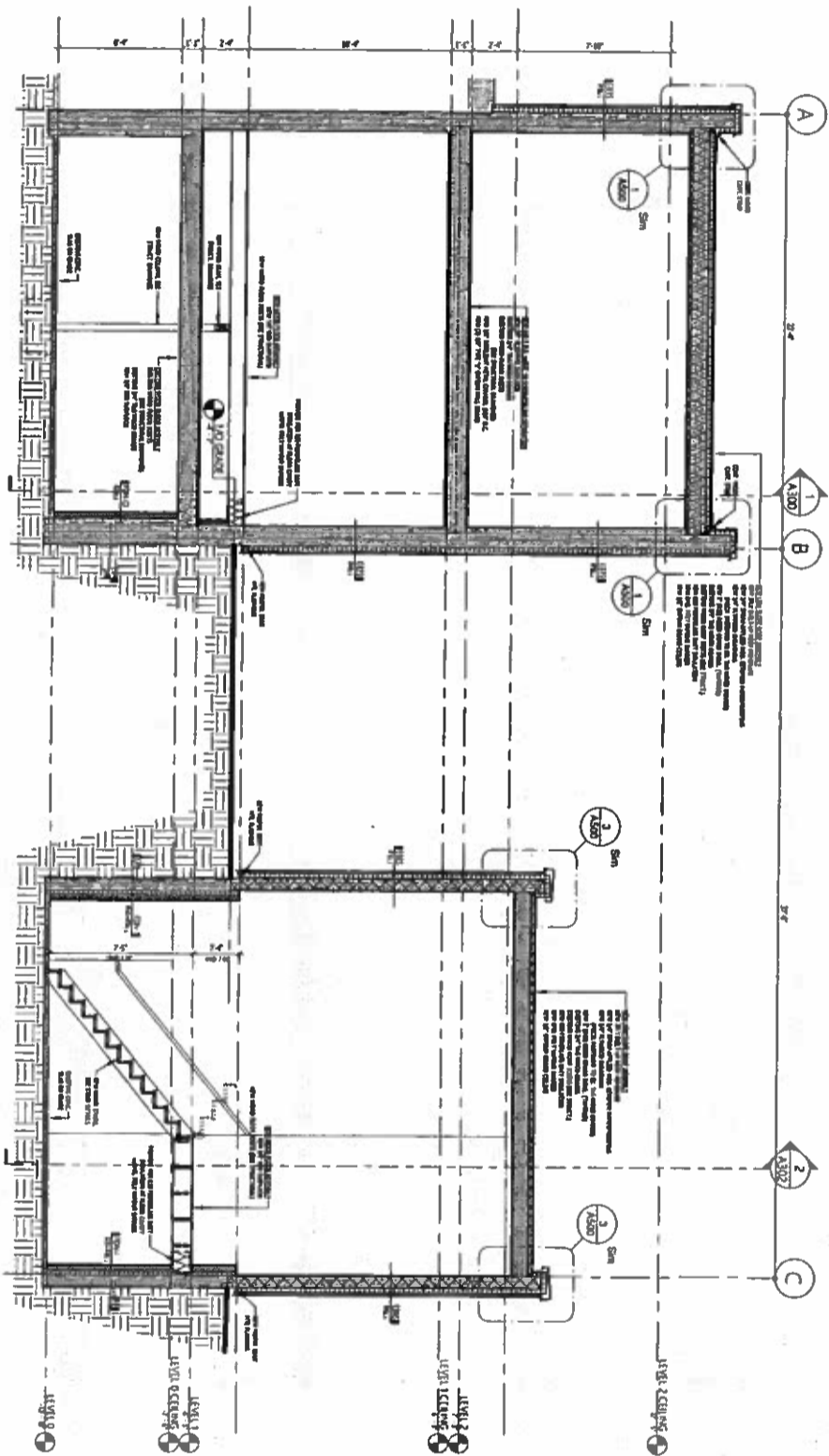
OWNER
Craig Handford



PROJECT
Interior Renovation & Addition
3. Thruway Center

DATE: 08/15/2018
SCALE: 1/8" = 1'-0"
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT NO.: 238018

NO.	DATE	DESCRIPTION
1	08/15/2018	Issue for Construction
2	09/01/2018	Revised for [Change]
3	09/15/2018	Revised for [Change]



1 Building Section
AS04 1/4" = 1'-0"

GENERAL NOTES

1. Contractor shall verify and certify all dimensions and quantities to be used in the construction of the project.
2. All work shall be in accordance with the approved plans and specifications.
3. All work shall be completed within the specified time frame.
4. All work shall be completed in accordance with the approved plans and specifications.
5. All work shall be completed in accordance with the approved plans and specifications.
6. All work shall be completed in accordance with the approved plans and specifications.

CLIENT
Crag Harford

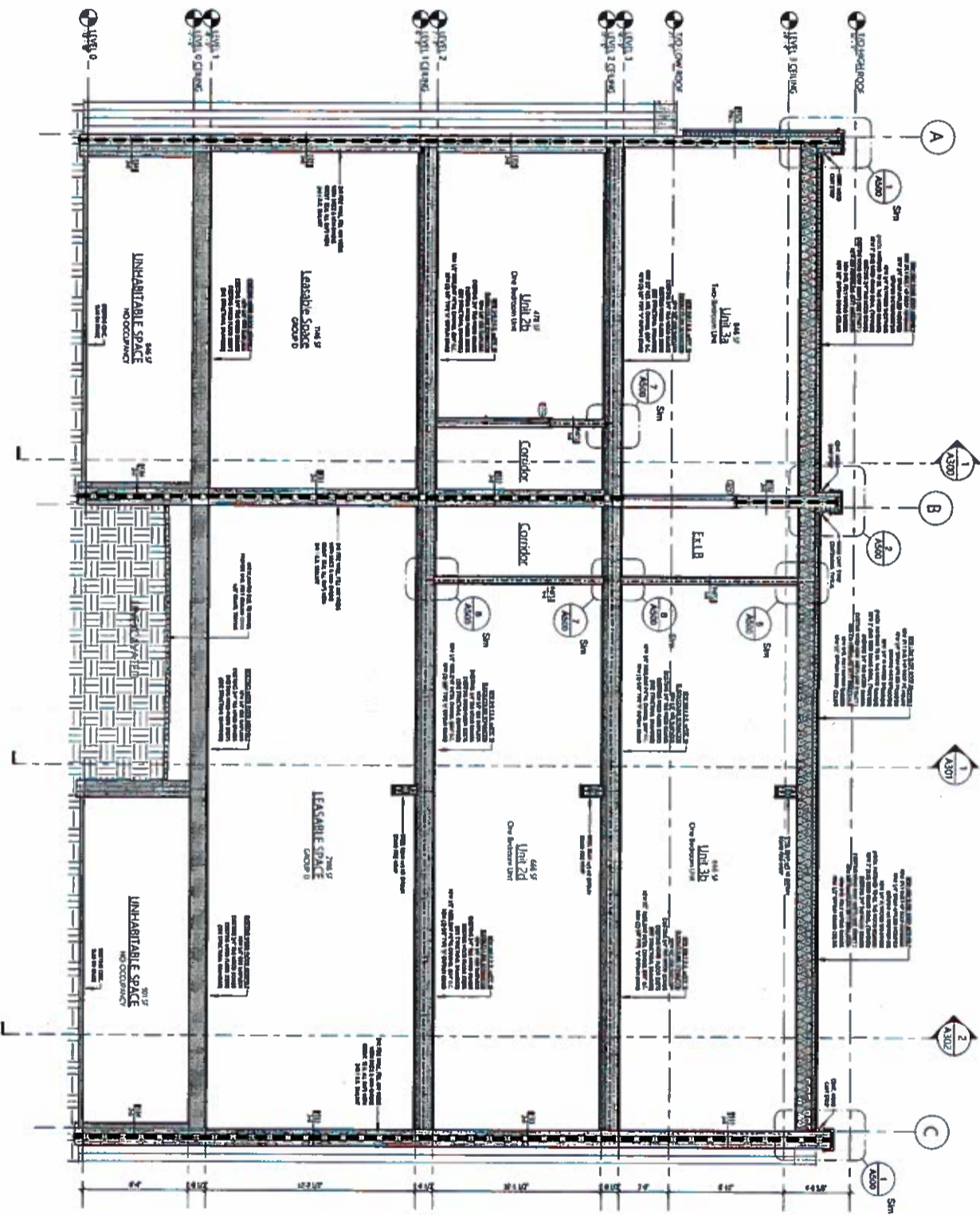
PROJECT
Interior Renovation & Addition

ARCHITECT
PCB GROUP
2711 University Avenue, Suite 210
Berkeley, CA 94704
Tel: 415.863.1111
www.pcbgroup.com

DATE
08/20/2018

SCALE
1/4" = 1'-0"

PROJECT NO.
238018 AS04 01



1 Building Section
AS05 1/8" = 1'-0"

1. Contractor shall not be responsible for the design and construction of any structure or equipment not shown on these drawings.
2. No part of these drawings shall be used for construction without the written consent of the architect.
3. Any part of these drawings shall be used for construction only as shown on these drawings.
4. Any part of these drawings shall be used for construction only as shown on these drawings.
5. Any part of these drawings shall be used for construction only as shown on these drawings.
6. Any part of these drawings shall be used for construction only as shown on these drawings.
7. Any part of these drawings shall be used for construction only as shown on these drawings.
8. Any part of these drawings shall be used for construction only as shown on these drawings.
9. Any part of these drawings shall be used for construction only as shown on these drawings.
10. Any part of these drawings shall be used for construction only as shown on these drawings.

SCALE	AS05	DATE	10/11/2018
DESIGN	AS05	OWNER	City of Chicago
PROJECT	AS05	PROJECT	City of Chicago
PROJECT NO.	238018	DATE	10/11/2018

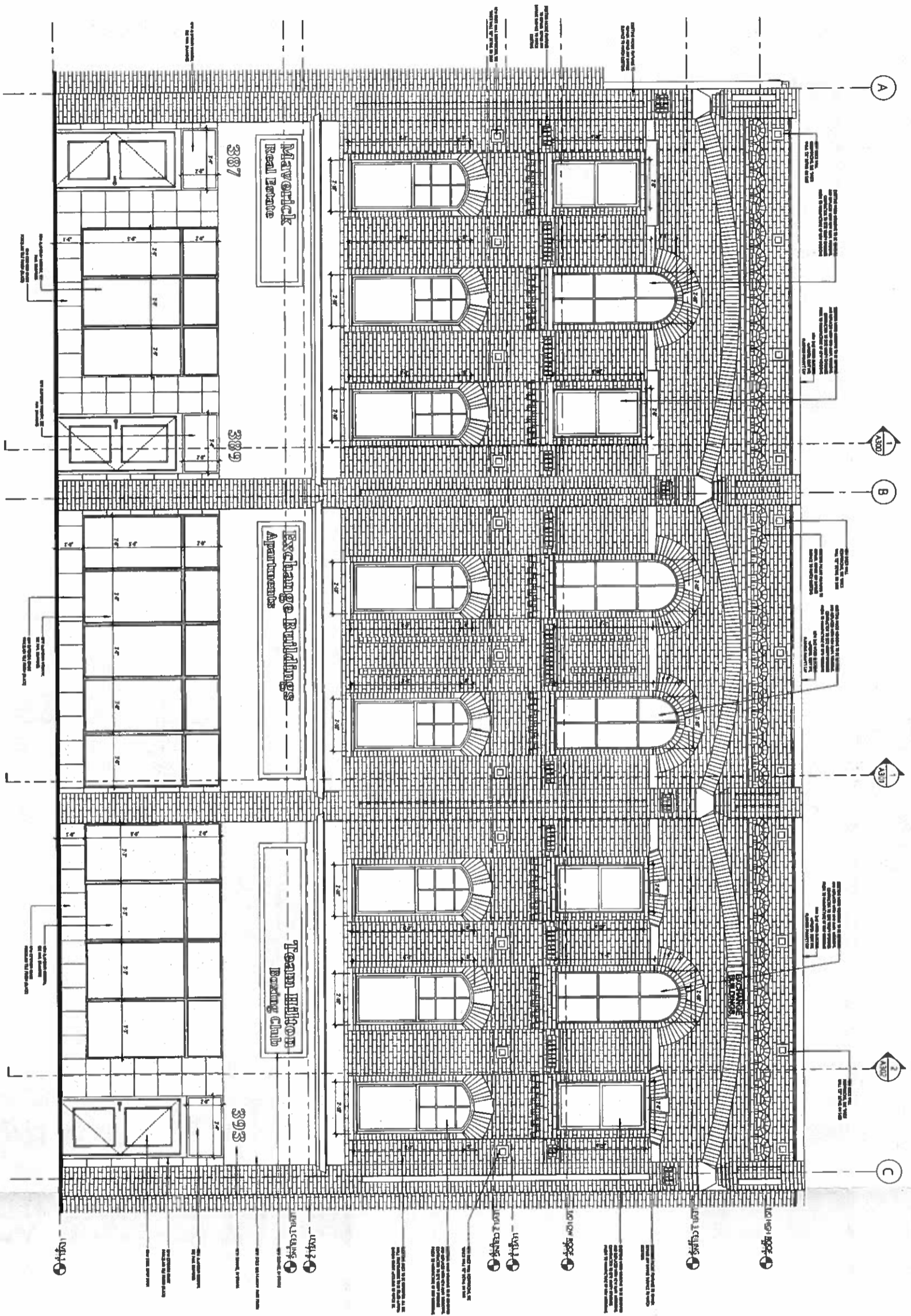
PROJECT
Interior Renovation & Addition
5. Third Floor

ARCHITECT
DPERLIK ARCHITECTS
27 West Loop East, Suite 202
Chicago, Illinois 60610
Tel: 312.467.1111
www.dperlik.com



NO.	DATE	DESCRIPTION
1	10/11/2018	ISSUED FOR PERMIT
2	10/11/2018	ISSUED FOR CONSTRUCTION
3	10/11/2018	ISSUED FOR CONSTRUCTION
4	10/11/2018	ISSUED FOR CONSTRUCTION
5	10/11/2018	ISSUED FOR CONSTRUCTION
6	10/11/2018	ISSUED FOR CONSTRUCTION
7	10/11/2018	ISSUED FOR CONSTRUCTION
8	10/11/2018	ISSUED FOR CONSTRUCTION
9	10/11/2018	ISSUED FOR CONSTRUCTION
10	10/11/2018	ISSUED FOR CONSTRUCTION

OWNER
City of Chicago
238018 AS05 01



1 South Elevation
A400 3/8" = 1'-0"

- GENERAL NOTES**
1. Contractor shall provide and verify all dimensions and be responsible for work, accuracy of dimensions to the original design, including work.
 2. All work shall be in accordance with the approved drawings.
 3. All work shall be in accordance with the approved drawings.
 4. All work shall be in accordance with the approved drawings.
 5. All work shall be in accordance with the approved drawings.
 6. All work shall be in accordance with the approved drawings.

CLIENT
Craig Harford

PROJECT
Interior Renovation & Addition

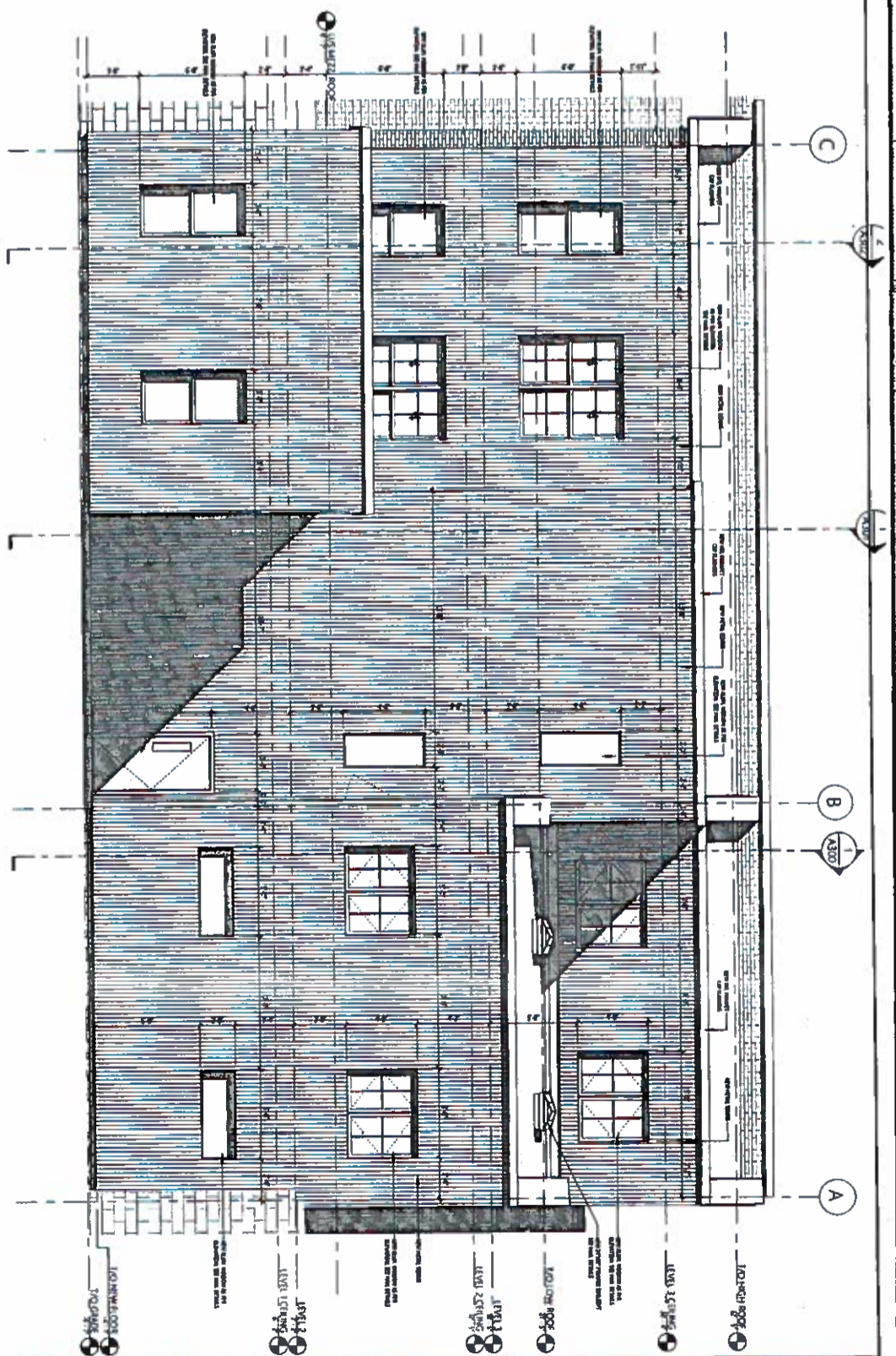
DATE
238018 A400 01

REVISIONS

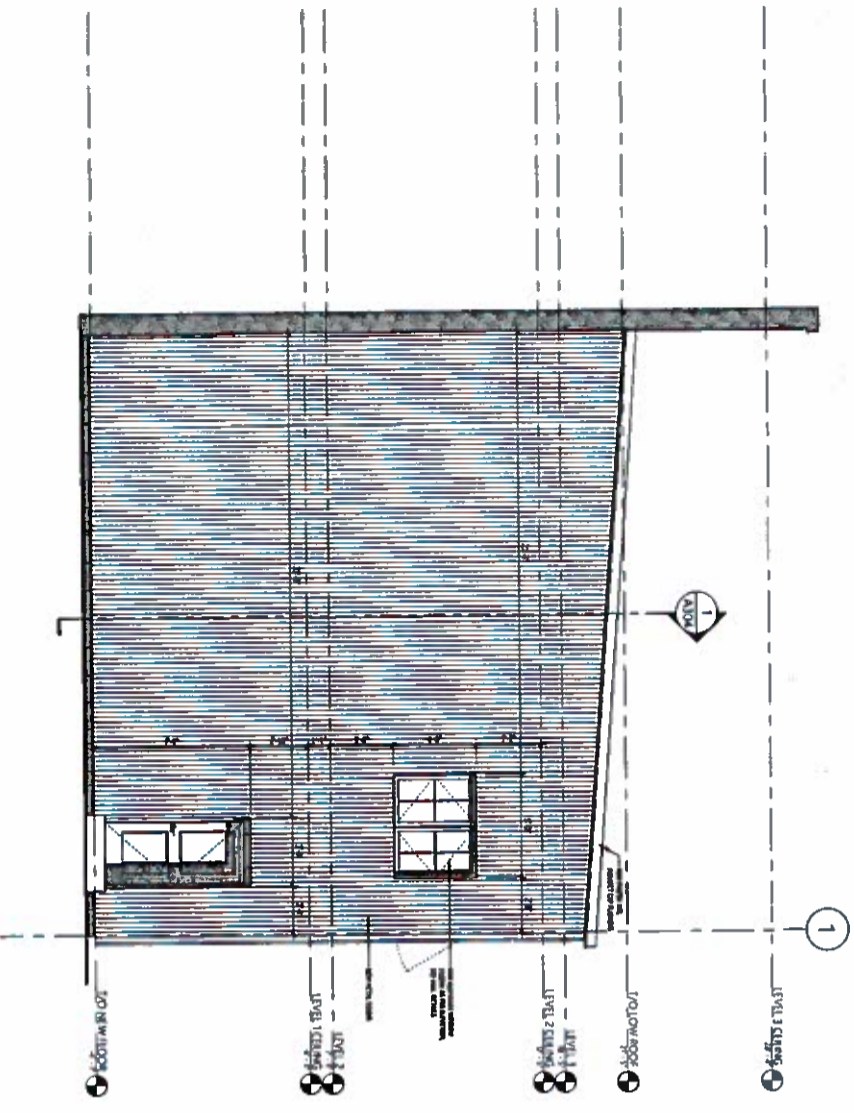
NO.	DATE	DESCRIPTION
1	01/15/2018	ISSUED FOR PERMIT
2	01/22/2018	ISSUED FOR CONSTRUCTION
3	02/01/2018	ISSUED FOR CONSTRUCTION
4	02/01/2018	ISSUED FOR CONSTRUCTION
5	02/01/2018	ISSUED FOR CONSTRUCTION

DESIGNER
D. B. BURK
D. B. BURK ARCHITECTS
1000 N. 10th St., Suite 100
Tulsa, Oklahoma 74103
Phone: 918.438.1111
www.dbburk.com

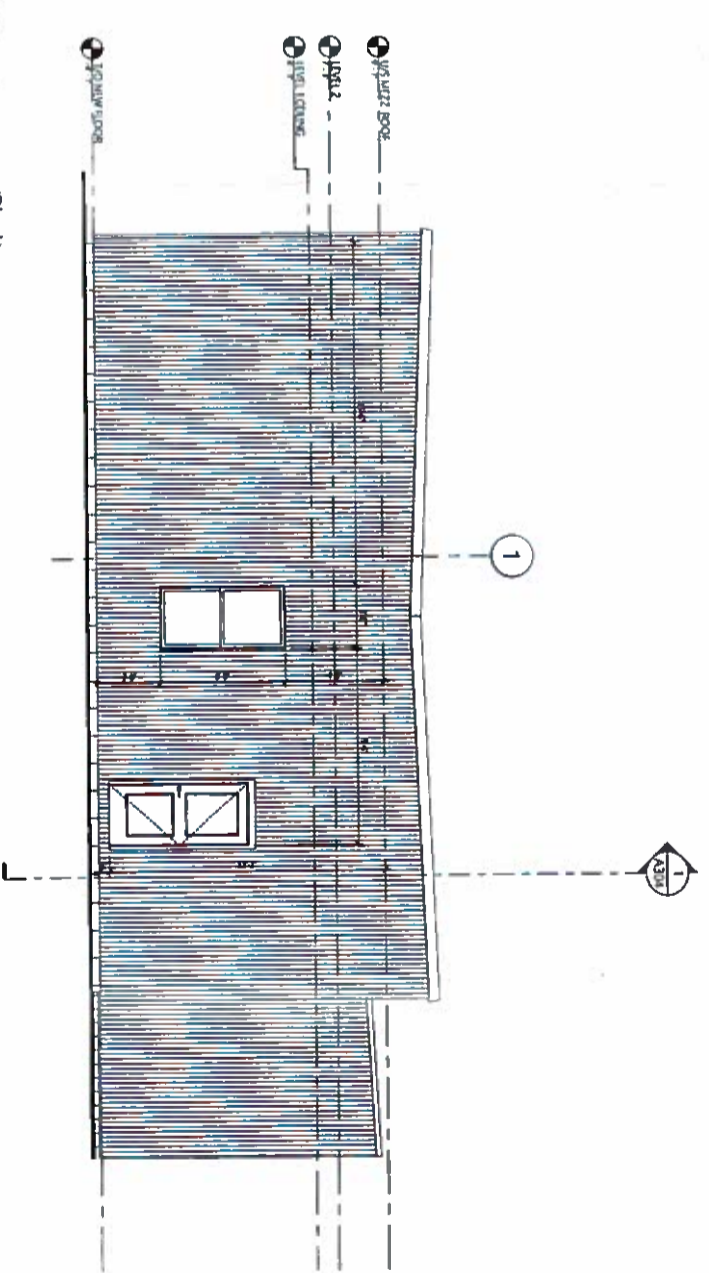
REGISTERED ARCHITECT
D. B. BURK
No. 10000
State of Oklahoma



1 North Elevation
A401 1/8" = 1'-0"



2 East Existing
A401 1/8" = 1'-0"



1 West Elevation (Block)
A401 1/8" = 1'-0"

GENERAL NOTES

1. Contractor shall verify all dimensions and materials to be used. Accuracy of contractor is to be verified by contractor's own surveying.
2. All work shall be done in accordance with the approved plans and specifications.
3. All work shall be done in accordance with the approved plans and specifications.
4. All work shall be done in accordance with the approved plans and specifications.
5. All work shall be done in accordance with the approved plans and specifications.

CLIENT
Craig Harford

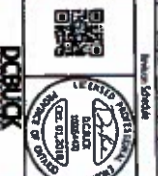
PROJECT
Interior Renovation & Addition
3 Rooms, Chicago

DATE
2/15/2018

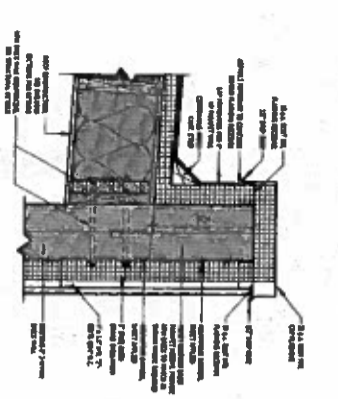
SCALE
1/8" = 1'-0"

PROJECT NO.
238018

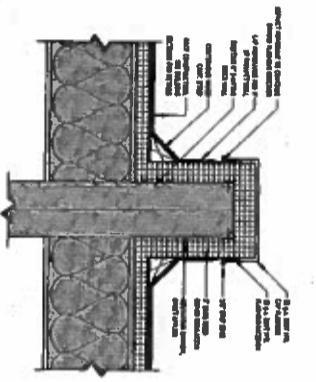
DATE
A401 01



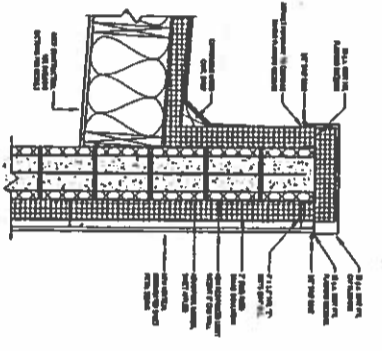
DCM/CK
2770 North Lincoln Street, Suite 100
Chicago, Illinois 60647
Tel: 773.442.1111
www.dcmck.com



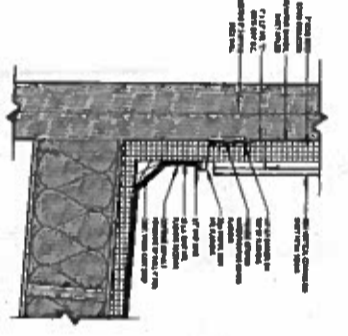
1 Brick Parapet Detail
AS00 T=1'-0"



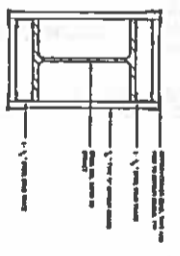
2 Firewall Parapet Detail
AS00 T=1'-0"



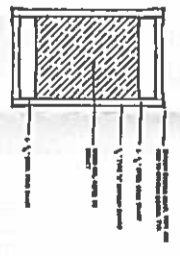
3 CMU Parapet Detail
AS00 T=1'-0"



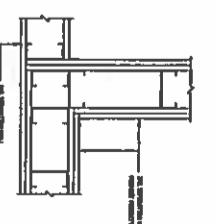
4 Wall Base at Roof Detail
AS00 T=1'-0"



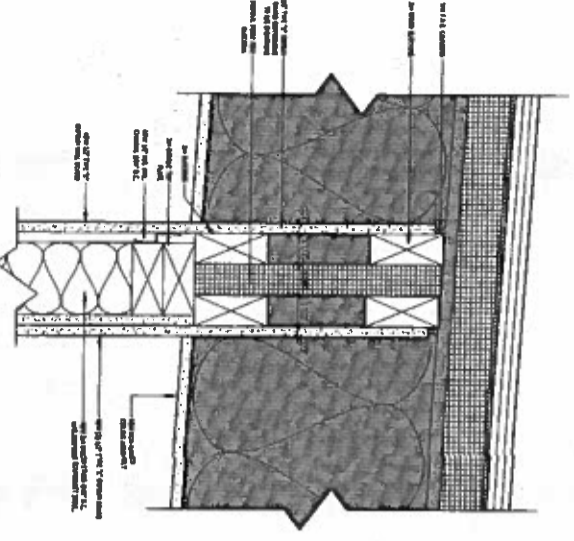
STEEL COLUMN DETAIL
1HR (X528 ULC)
1/2" = 1'-0"



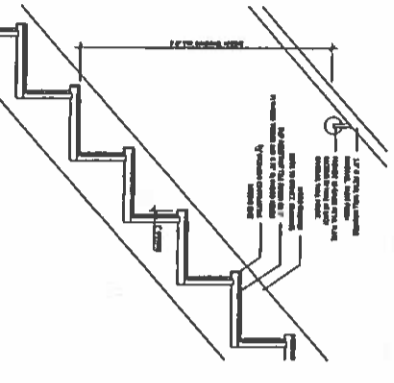
WOOD COLUMN DETAIL
1HR (X528 ULC)
1/2" = 1'-0"



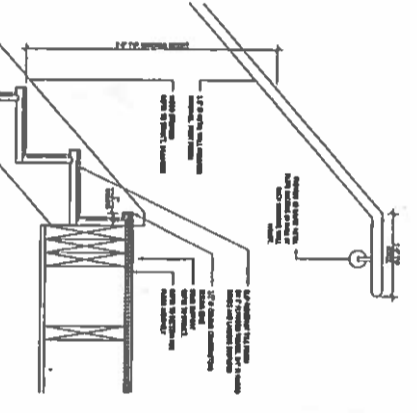
FRR PRIORITY LEGEND
1/2" = 1'-0"



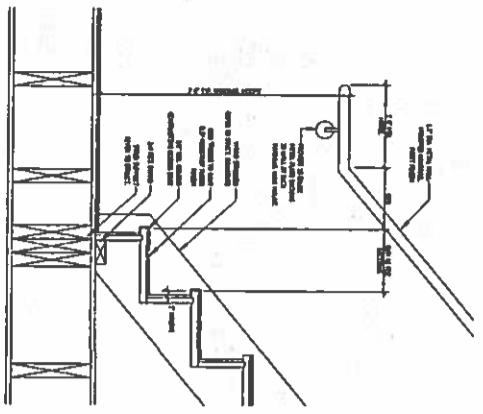
3 Ver. Fire Separation at Roof
AS00 T=1'-0"



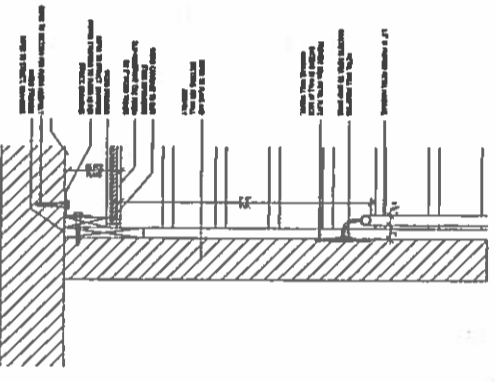
Stair Detail at Flight
T=1'-0"



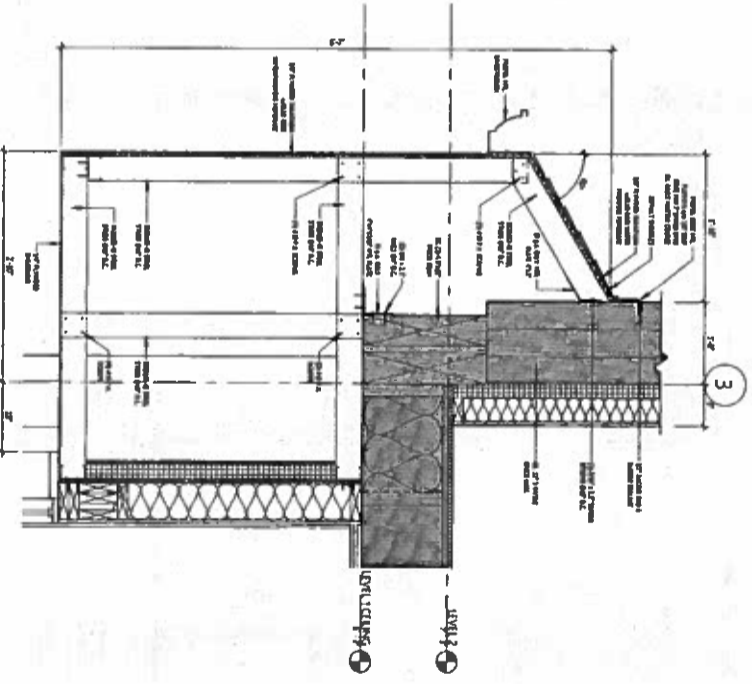
Stair Detail at Landing
T=1'-0"



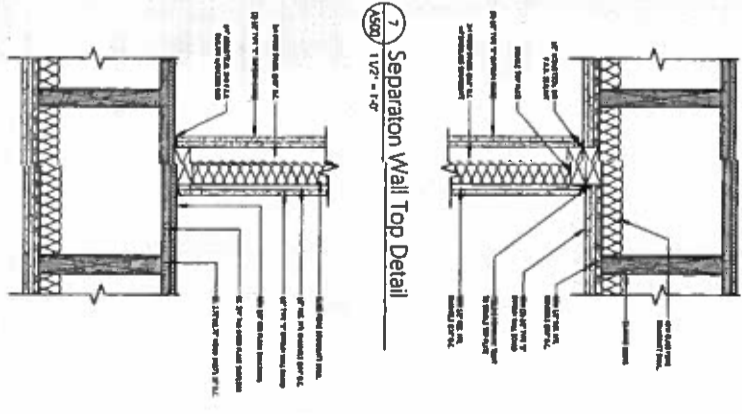
Stair Detail at Floor
T=1'-0"



Stair Detail at Stringer
T=1'-0"



6 Canopy Detail
AS00 T=1'-0"



7 Separation Wall Top Detail
AS00 1/2" = 1'-0"



8 Separation Wall Base Detail
AS00 1/2" = 1'-0"

GENERAL NOTES

1. Contractor shall detail and construct all details not shown.
2. All materials shall be installed in accordance with the manufacturer's instructions.
3. All work shall be done in accordance with the applicable building codes and standards.
4. All work shall be done in accordance with the applicable fire codes and standards.
5. All work shall be done in accordance with the applicable safety codes and standards.
6. All work shall be done in accordance with the applicable environmental codes and standards.

DETAILS

PROJECT: Interior Renovation B Addition

DATE: 11/20/2018

SCALE: 1/2" = 1'-0"

PROJECT NO: 238018

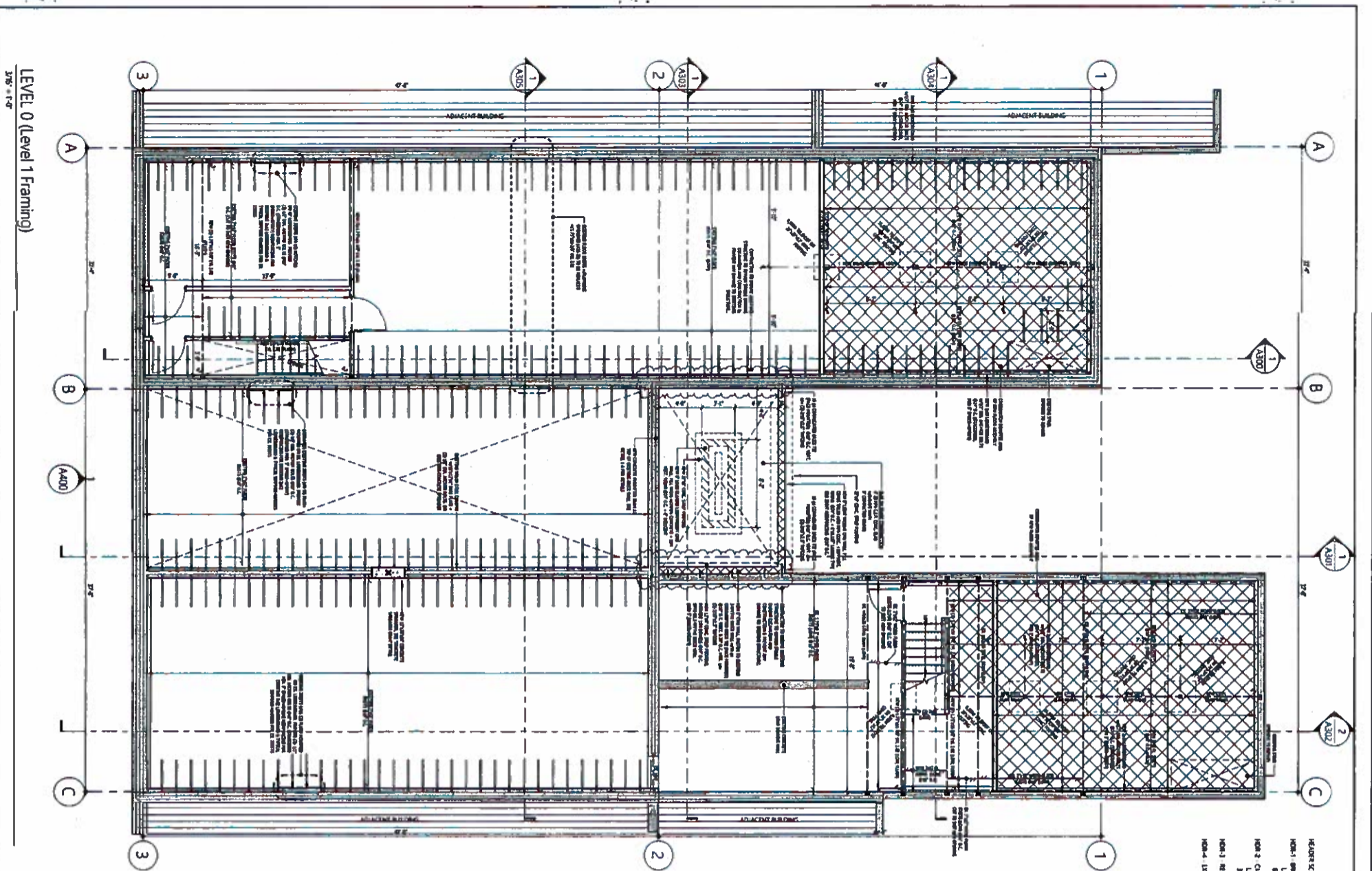
AS00 01

CREG HARTSFORD

ARCHITECT

2000 North 1st Street, Suite 200
Tulsa, Oklahoma 74103

PH: 918.492.1234
WWW.CREGHARTSFORD.COM



GENERAL NOTES

1. Contractor shall verify all dimensions and locations of existing conditions and be responsible for any discrepancies. All dimensions shall be taken from the finished floor unless otherwise noted.
2. All work shall be done in accordance with the approved plans and specifications.
3. All materials and workmanship shall conform to the requirements of the applicable building codes and standards.
4. All structural steel shall be fabricated and erected in accordance with the approved specifications.
5. All concrete shall be cast and cured in accordance with the approved specifications.
6. All masonry shall be laid in accordance with the approved specifications.

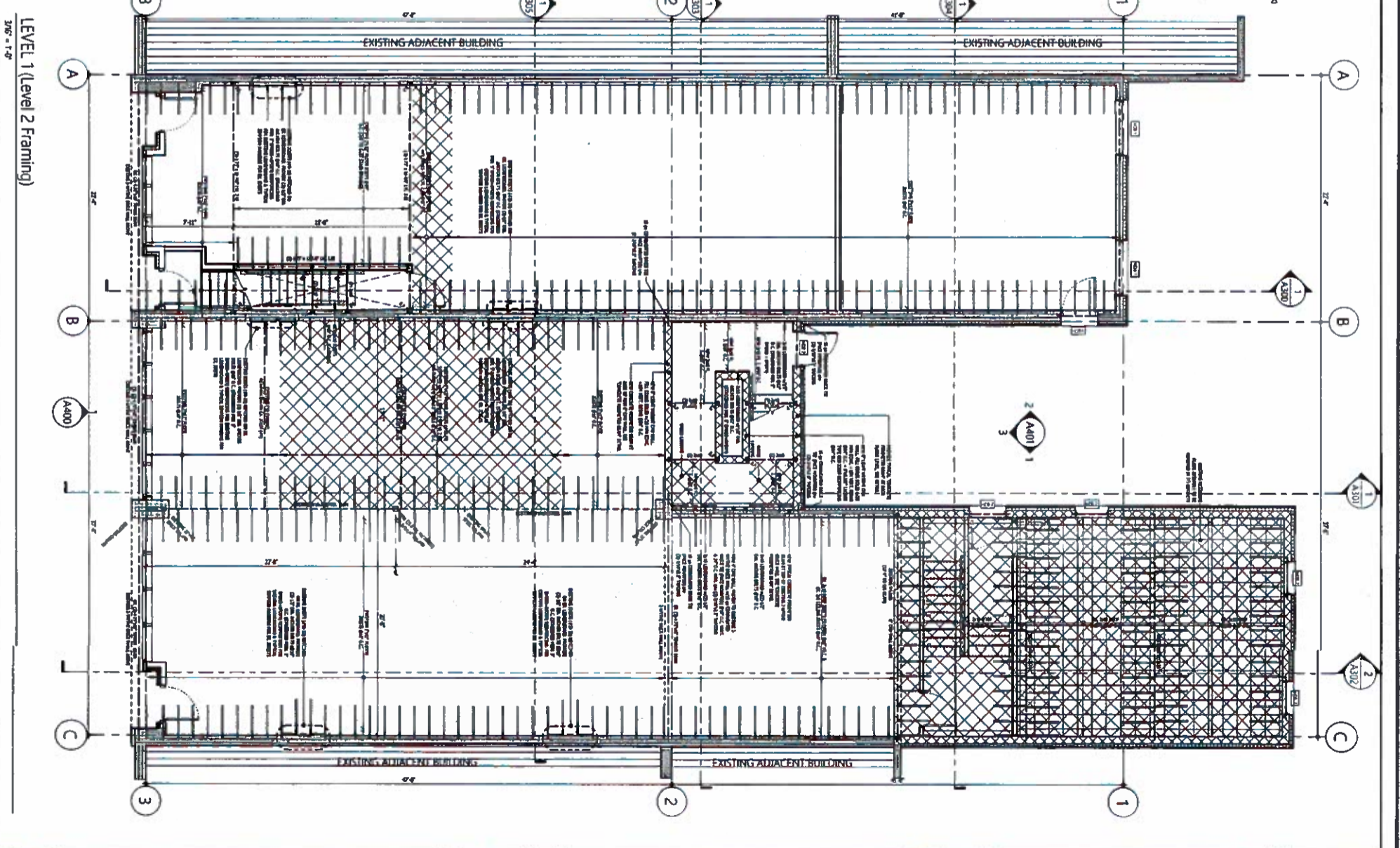
HEADLINE KEYNOTE

NOTE 1: BRICK UNIT
 1/2" WALL THICKNESS
 1/2" JOINTS
 1/2" POINTING
 1/2" SANDSTRAKE
 1/2" SAND

NOTE 2: CONCRETE
 4" MIN. THICKNESS
 1/2" JOINTS
 1/2" SANDSTRAKE
 1/2" SAND

NOTE 3: REEF BRG
 1/2" SANDSTRAKE
 1/2" SAND

NOTE 4: LISTED BRICK UNIT: TO EQUAL EXISTING WORKING



LEVEL 0 (Level 1 Framing)
 1/8" = 1'-0"

LEVEL 1 (Level 2 Framing)
 1/8" = 1'-0"

CLIENT:
 Craig Handford

PROJECT:
 Interior Renovation & Addition
 3000 S. 10th Street, Phoenix, AZ 85004

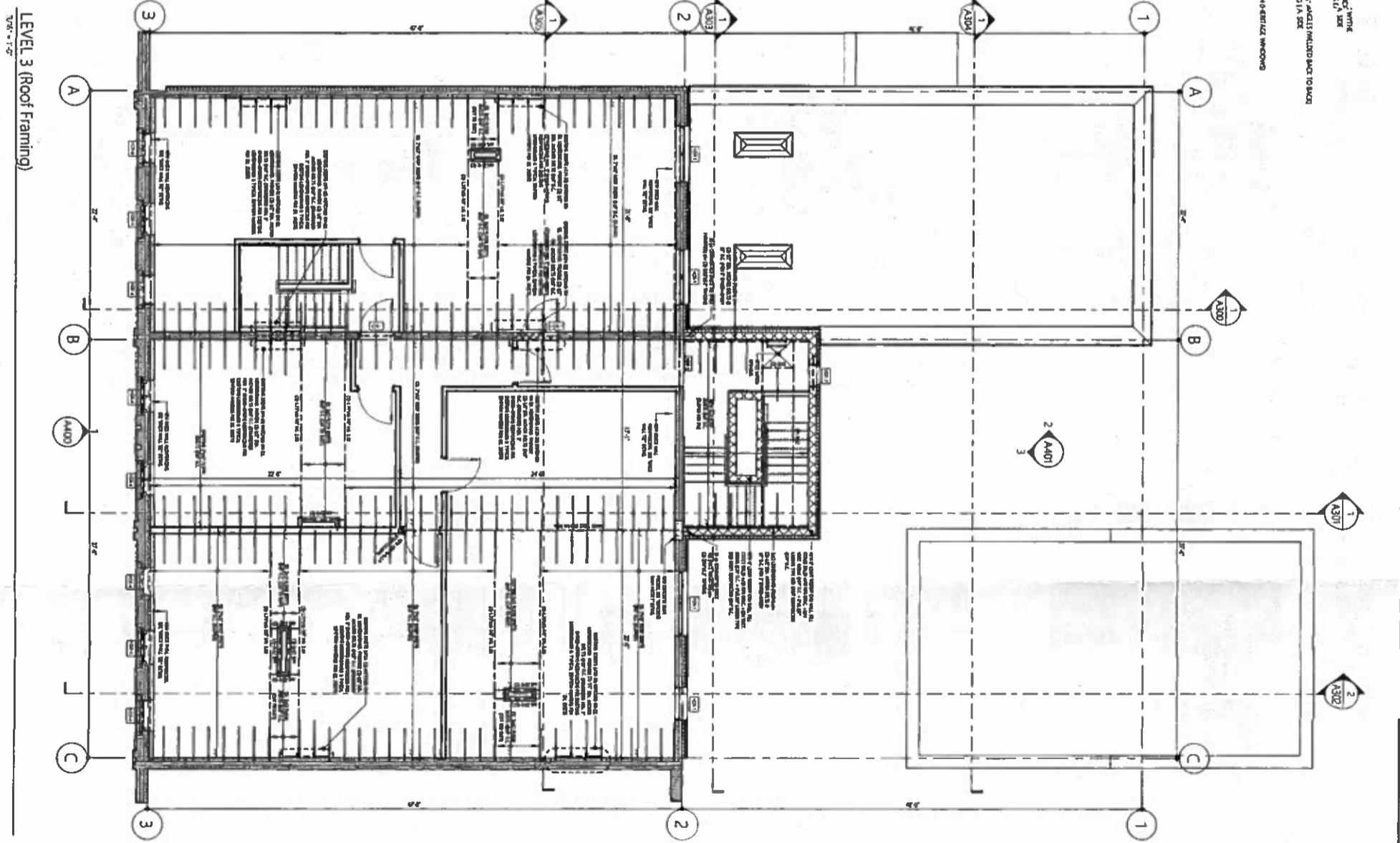
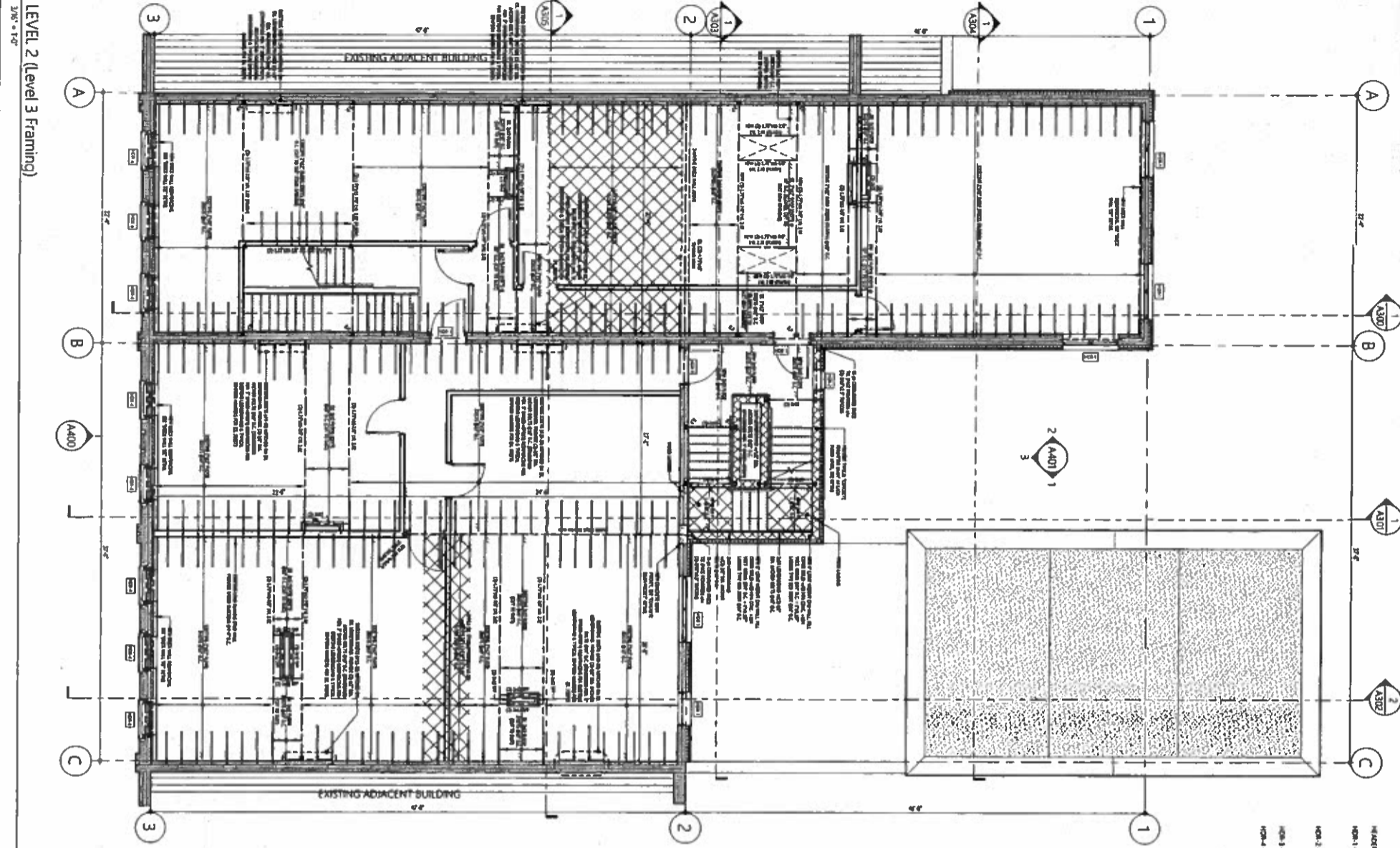
DESIGNER:
 DPC/ARCH
 277 North 1st Street, Suite 200
 Phoenix, AZ 85004
 (602) 254-1111
 www.dpcarch.com

DATE:
 11/15/2018

SCALE:
 1/8" = 1'-0"

PROJECT NO.:
 238018

SHEET NO.:
 ST100 01



- MEMBER LEGEND**
- HMB-1 - HMB LVL
 - HMB-2 - HMB LVL
 - HMB-3 - HMB LVL
 - HMB-4 - HMB LVL
- MEMBER SCHEDULE**
- HMB-1 - HMB LVL
 - HMB-2 - HMB LVL
 - HMB-3 - HMB LVL
 - HMB-4 - HMB LVL

- GENERAL NOTES**
1. All framing members shall be designed in accordance with the applicable code provisions.
 2. All framing members shall be designed for the applicable loads and conditions.
 3. All framing members shall be designed for the applicable service and ultimate loads.
 4. All framing members shall be designed for the applicable deflection and vibration limits.
 5. All framing members shall be designed for the applicable fire resistance requirements.
 6. All framing members shall be designed for the applicable seismic requirements.
 7. All framing members shall be designed for the applicable wind requirements.
 8. All framing members shall be designed for the applicable snow requirements.
 9. All framing members shall be designed for the applicable temperature requirements.
 10. All framing members shall be designed for the applicable moisture requirements.

PROJECT
 Interior Renovation & Addition
 238018 S101 01

CLIENT
 Craig Handford

DATE
 10/1/2018

DESIGNED BY
 [Signature]

CHECKED BY
 [Signature]

SCALE
 1/8" = 1'-0"

PROJECT NO.
 238018 S101 01

DATE
 10/1/2018

PROJECT NAME
 Interior Renovation & Addition

PROJECT ADDRESS
 238018 S101 01

PROJECT CITY
 [City]

PROJECT STATE
 [State]

PROJECT ZIP
 [ZIP]

PROJECT PHONE
 [Phone]

PROJECT FAX
 [Fax]

PROJECT EMAIL
 [Email]

PROJECT WEBSITE
 [Website]

PROJECT SOCIAL MEDIA
 [Social Media]

PROJECT CONTACT
 [Contact]

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PROJECT TRANSPARENCY
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PROJECT KINDNESS
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PROJECT PATIENCE
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PROJECT HUMILITY
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PROJECT GRACE
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PROJECT MERCY
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PROJECT FAITH
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PROJECT HOPE
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PROJECT LOVE
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