

THE CORPORATION OF THE CITY OF ST. THOMAS
AGENDA
THE NINTH MEETING OF THE MUNICIPAL HERITAGE COMMITTEE

COMMITTEE
ROOM #304

5:30 P.M.

October 16, 2018

MINUTES

Confirmation of the minutes of the meeting held on September 6, 2018.

NEW BUSINESS

Renovations to City Hall and East Pavilion Roof, Pinafore Park

Ross Tucker, Director of Parks, Recreation and Property Management will be in attendance to update the Committee on proposed renovations to City Hall and the East Pavilion Roof at Pinafore Park.

2019 Budget Pages 2 and 3

Heritage Alteration Permit - 519 & 523 Talbot Street W. Pages 4-24

Heritage Alteration Permit - 389 & 393 Talbot Street W. Pages 25-51

UNFINISHED BUSINESS

Alma College CIP Update

Plaque Presentation - 763-767 Talbot Street

Food Basics Update

NEXT MEETING

To be determined.

ADJOURNMENT

MUNICIPAL HERITAGE COMMITTEE

REVENUE		2018
		Annual
31-5-01-1-0002-9080	National Trust for Canada funding	1,500
31-5-01-1-0002-7063	Council Grant	5,500
TOTAL REVENUE		7,000
EXPENSES		
31-5-01-1-0002-3011	Reg Part-time Wages	4,100
31-5-01-1-0002-3120	All Statutory Benefits	400
31-5-01-1-0002-4076	Secretarial Support	1000
31-5-01-1-0002-5019	Program Supplies	1,500
TOTAL EXPENSES		7,000
TOTAL MUNICIPAL HERITAGE C		7,000

MUNICIPAL HERITAGE COMMITTEE

REVENUE

**2019
Annual**

31-5-01-1-0002-9080 National Trust for Canada funding
31-5-01-1-0002-9480 Book Sales
31-5-01-1-0002-9499 Map Advertising Revenue
31-5-01-1-0002-7063 Council Grant

TOTAL REVENUE

0

EXPENSES

31-5-01-1-0002-3011 Reg Part-time Wages
31-5-01-1-0002-3120 All Statutory Benefits
31-5-01-1-0002-4076 Secretarial Support
31-5-01-1-0002-5019 Program Supplies

TOTAL EXPENSES

0

TOTAL MUNICIPAL HERITAGE COMMITTEE

City of St. Thomas
Received

OCT 11 2018

City Clerks Dept.

MEMO

DATE: October 10th, 2018

ATTENTION: Melanie Knapp, Secretary, Municipal Heritage Committee

SUBJECT: Heritage Alteration Permit
519 & 523 Talbot Street West
HAP-02-18

Please find attached a notice of receipt for Heritage Alteration Permit within the City of St. Thomas. The applicant has consulted with Planning & Building Services Department Staff and the application has been deemed complete.

As per the Heritage Alteration Permit process, the attached material is being provided for your circulation to the Municipal Heritage Committee for consideration and recommendation to Council. In scheduling a meeting with the Municipal Heritage Committee and the applicant, please copy the Planning & Building Services Department for our records.

Through the consultation process, Planning & Building Staff do not have any additional comments for the Municipal Heritage Committee's consideration.

If you have any questions, please contact the Planning & Building Services Department.

Regards,



Crystal Penney
Planning & Building Services Coordinator

NOTICE OF RECEIPT FOR HERITAGE ALTERATION PERMIT
(Section 42(3) of the Ontario Heritage Act, R.S.O. 1990, c. O.18, as amended)

October 10th, 2018

Peter Yurek
519 Talbot Street West
St. Thomas, Ontario
N5P 1C3

**Re: Notice of Receipt
Heritage Alteration Permit**
File No.: HAP-02-18
Property: 519 & 523 Talbot Street West

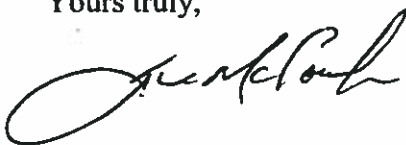
Pursuant to Section 42(3) of the Ontario Heritage Act, as amended, this letter is notice that the information and material required through the City of St. Thomas' Application for Heritage Alteration Permit has been provided and the application is thereby considered complete.

Council of the City of St. Thomas has 90 days from the issue of receipt of this notice to make a decision to grant or refuse this application.

The Secretary of the Municipal Heritage Committee has been circulated this notice and application for inclusion on the next available meeting agenda date. You will receive a separate notice of confirmation of your Municipal Heritage Committee meeting date and time. It is advisable for you or a representative to attend this meeting to present and respond to questions on your Heritage Alteration Permit application.

Please contact the Planning & Building Services Department at 519-633-2560 if you have any questions.

Yours truly,



Jim McCoomb
Manager of Planning Services

cc: Melanie Knapp, Corporate Administrative and Accessibility Clerk, City of St. Thomas

Corporation of the City of St. Thomas

APPLICATION FOR A HERITAGE ALTERATION PERMIT

Pursuant to Section 33(2) and Section 42(2.1) of the Ontario Heritage Act

OFFICE USE:	Date Application Received: <u>SEP 27 2018</u>	Consultation Date: <u>September 24/18</u>
	Date Application Deemed Complete: <u>OCT 10 2018</u>	File Number: <u>HAP 02-18</u>

OWNER/APPLICANT

1. Property Owner
 Name: Pato Hignite
 Address: 519 Talbot St
 Postal Code: N5P 1G3 Phone: 519-631-8769 Fax: 519-631-6929
 Email: pato@purokpharmacy.com

2. Agent/Applicant
 Name: MARCO S. J. M.M.
 Company: YUREK PHARMACY
 Address: 519 TALBOT ST SAINT THOMAS ON.
 Postal Code: _____ Phone: 519 859 8469 Fax: _____
 Email: RBC3@STO.NET

Who is the primary contact?
 Registered Owner Applicant/Agent
 *Note: Unless otherwise requested all communications will be sent to the Applicant.
 *Please indicate the method of communication you would like to be contacted by.
 Phone Email Fax Mail

PROPERTY INFORMATION

1. Municipal Address: 519 AND 523 TALBOT ST, SAINT THOMAS ON

 2. Legal Description: _____

SUMMARY OF WORK PROPOSED

1. What kind of permit is required?
 Alteration to Building/Property New Construction Demolition

2. Check all types of work that would happen in your proposed project:

- demolition of a building or part of a building, such as a building façade
- removal of a building to a different location on site or to another site
- erection of a new building, a new façade, a new storefront, an addition to an existing building, a new garage or a new fence or wall
- structural intervention that affects the external appearance of a building
- repointing and repairing masonry, cleaning masonry of paint or grime, or painting or staining
- removal of parging, External Insulation and Finish System, siding or façade screen from walls or installation of new wall material to replace or cover existing wall material
- alteration of doors and windows, their heads and their surrounds, or cutting of new door and window openings in walls
- alteration of roofline or skyline by changes to cornices, overhangs, eaves, parapets, chimneys, domers, rooftop equipment, towers and roof shape, or alteration of historic roof coverings such as slate
- removal or addition of architectural detail, such as storefront cornices, decorative brickwork, stone trim, brackets, window shutters, awnings, porches and balconies
- erection of a sign
- alteration of streets and their boulevards, squares, parking lots

3. Please list below, any documents included with this submission (drawings, site plan, specifications, photographs and other documents as needed to illustrate the project). Requirements will depend on the scale of the project.

DRAWINGS AND PICTURES EMAILED TO WENDELL GRAVES AND
JIM McCOMBE

4. Explain the reasons for undertaking the alterations and describe how the proposal conforms to the Part IV individual designation by-law or Part V Heritage Conservation District Plan design guidelines. Attach additional page(s) if needed.

THE REASON FOR THE PROJECT IS TO REPAIR DAMAGES OF WEATHER AND
TIME.
THE BRICK FACADE WILL BE REMOVED AND REPAIRED WITH NEW
HERITAGE STYLE BRICK IN THE ORIGINAL PATTERN. THE PARAPET
WILL BE REBUILT WITH CORBELLING SIMILAR TO THE BUILDINGS
JUST WEST OF OAPS

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Ontario Heritage Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. In accordance with the Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I HAROLD SWINN, the Owner or Authorized Agent, hereby agree and acknowledge that the
(Print name of Owner or Authorized Agent)

information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. The information will be used for the purposes of administering the heritage permit application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. Questions about this collection should be directed to the Director of Planning and Building Services, 9 Mondamin Street, St. Thomas, Ontario, N5P 2T9, (519) 633-2560.

AFFIDAVIT OR SWORN DECLARATION

I, HAROLD SWINN of SAINT THOMAS in the province of ONTARIO,
name of applicant City

make oath and say (or solemnly declare) that the information required under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the SAINT THOMAS on this 27 day of SEP, 2018.
City Day Month Year

[Signature]
Signature of Owner or Authorized Agent

SEP 27, 2018
Date

[Signature]
Signature of Commissioner of Oaths, etc.

Sept 27, 2018
Date

Crystal Marie Penney, a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of St. Thomas.
Expires September 18, 2019.

APPENDIX A - AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, PETER YUREK, am the owner of the subject lands, and I authorize
HAROLD SW, MM, to act on our behalf as the agent for the submissions required for all
matters relating to the subject lands, and to provide any of my personal information that will be included in this
application or collected during the planning process.

8/25/18
Date


Signature of Owner

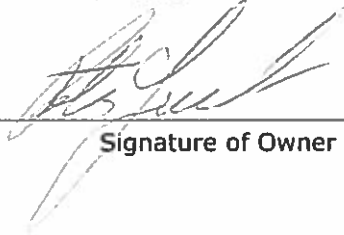
APPENDIX B – ACKNOWLEDGEMENT OF LEGAL AND PLANNING FEES

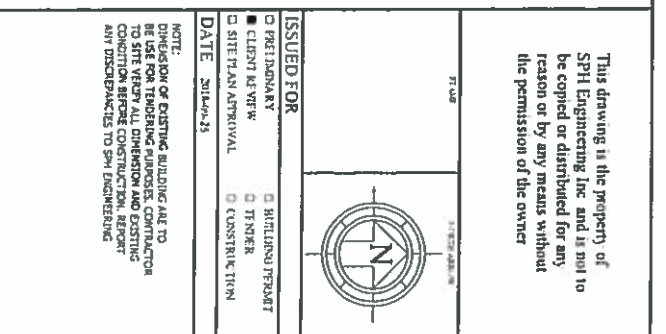
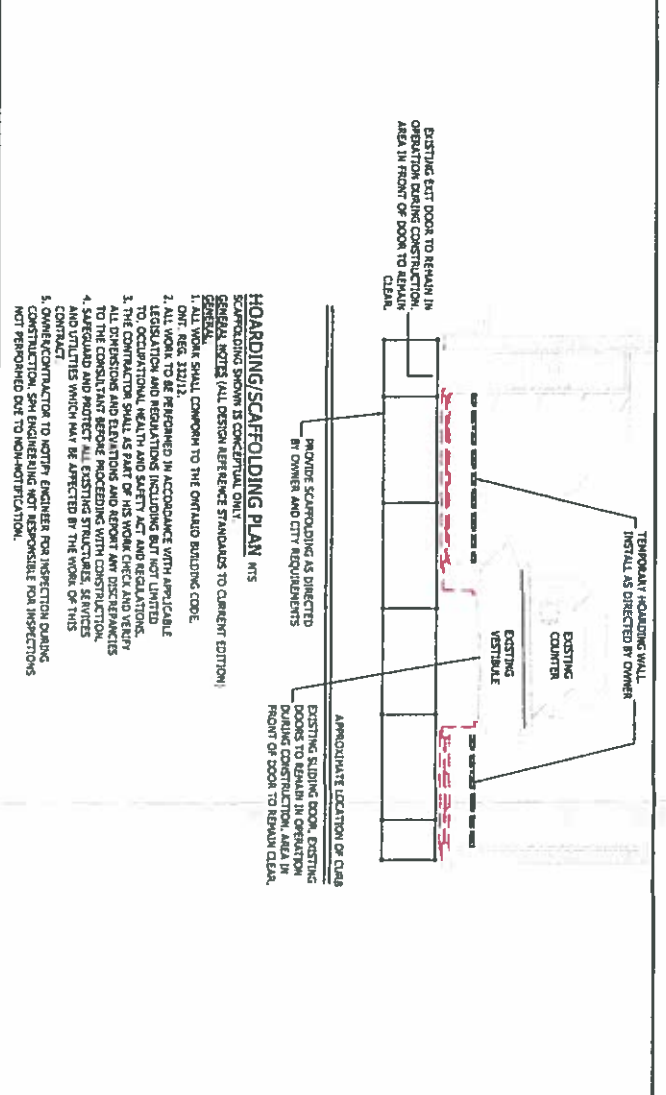
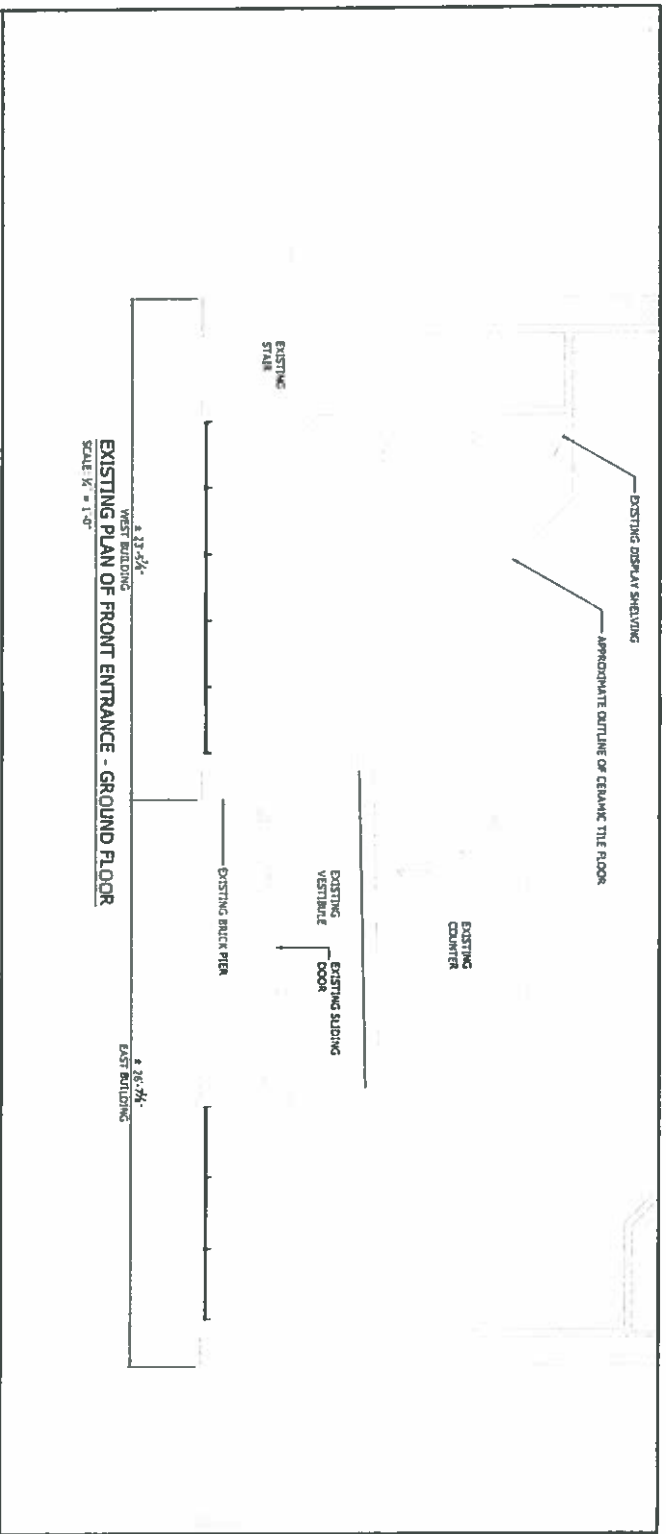
In addition to the application fees listed in this application package, please note that where the City requires assistance from its solicitors or other technical or professional consultants in the processing of this application, the applicant shall be responsible for reimbursing all fees incurred by the City.

***Please note, Appendix B must be completed by the owner, not the authorized agent.**

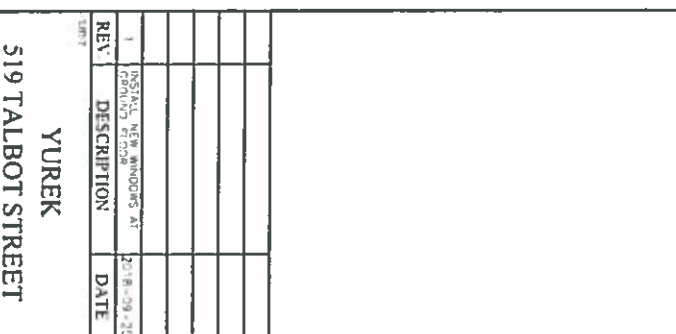
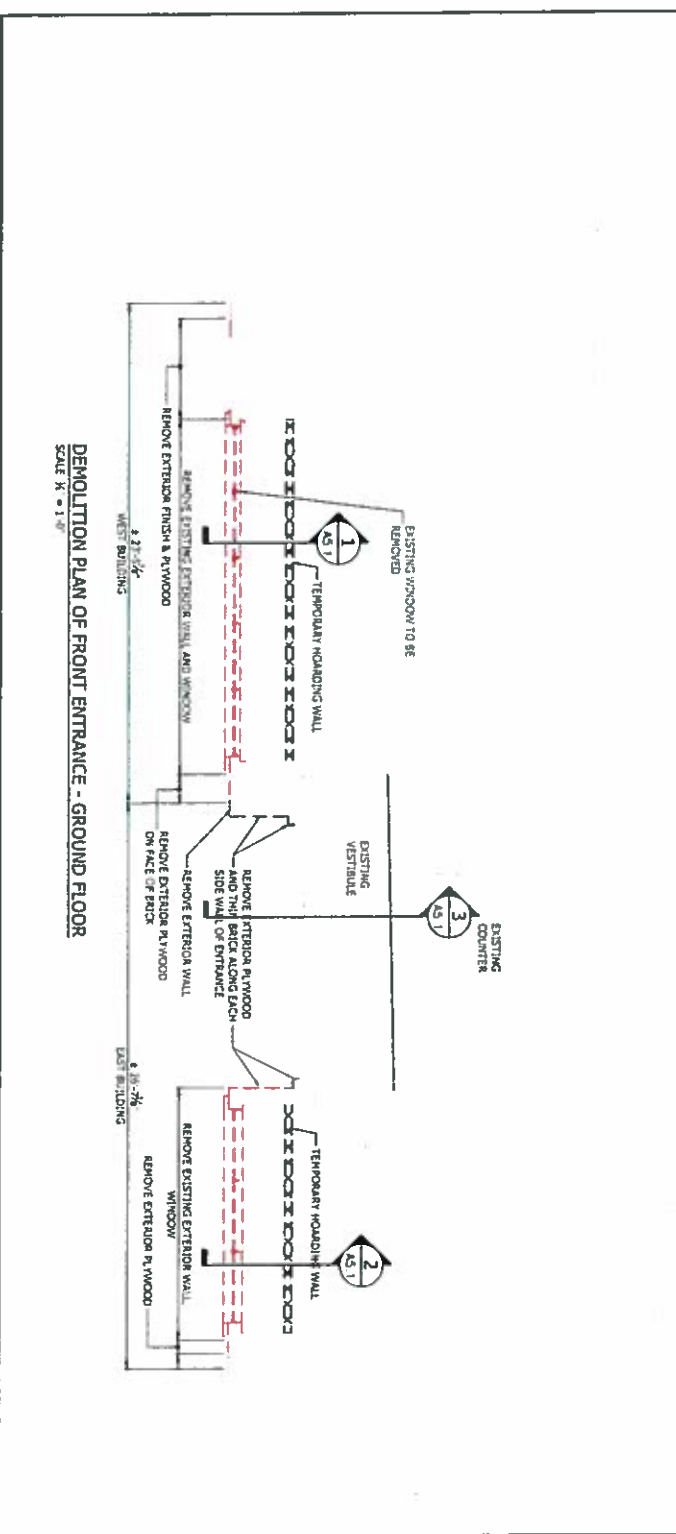
I, PETER YUREK, am the **owner** of the subject lands, and I understand that further fees may be incurred by the City throughout the planning process and that I am responsible for reimbursing all fees.

Sept 25/18
Date

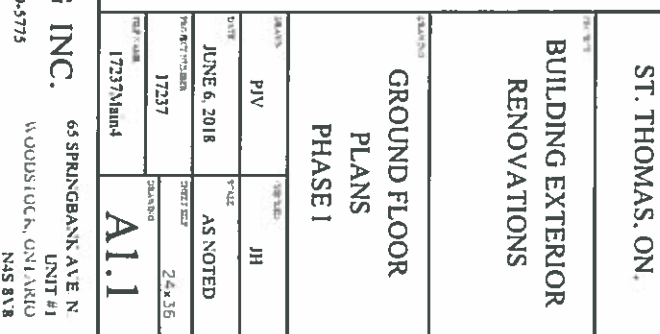
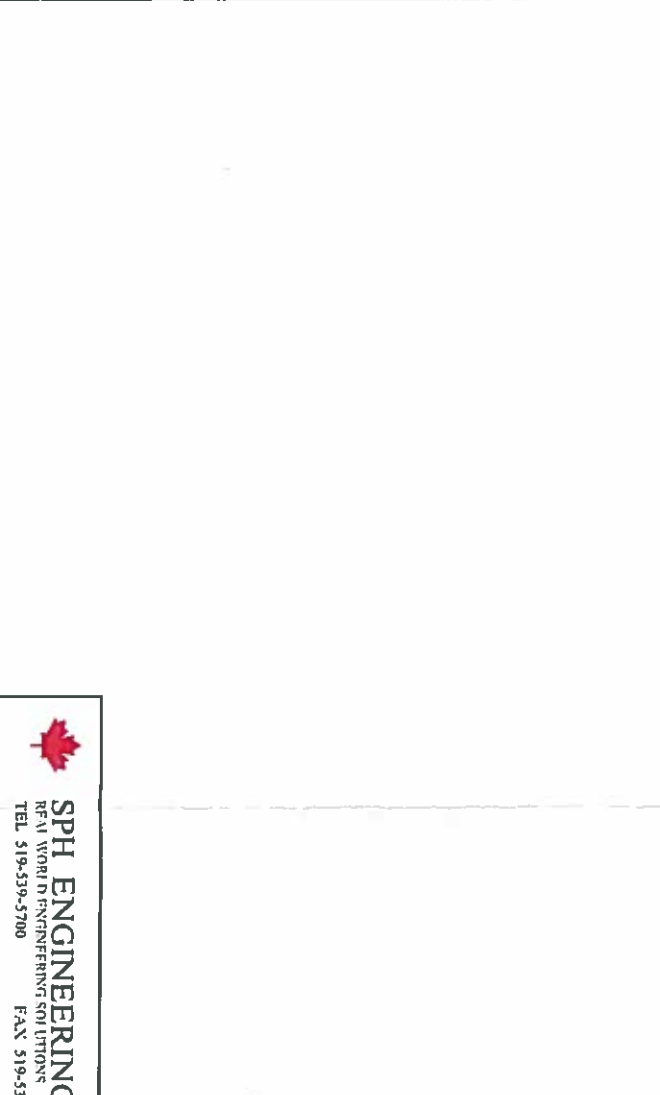
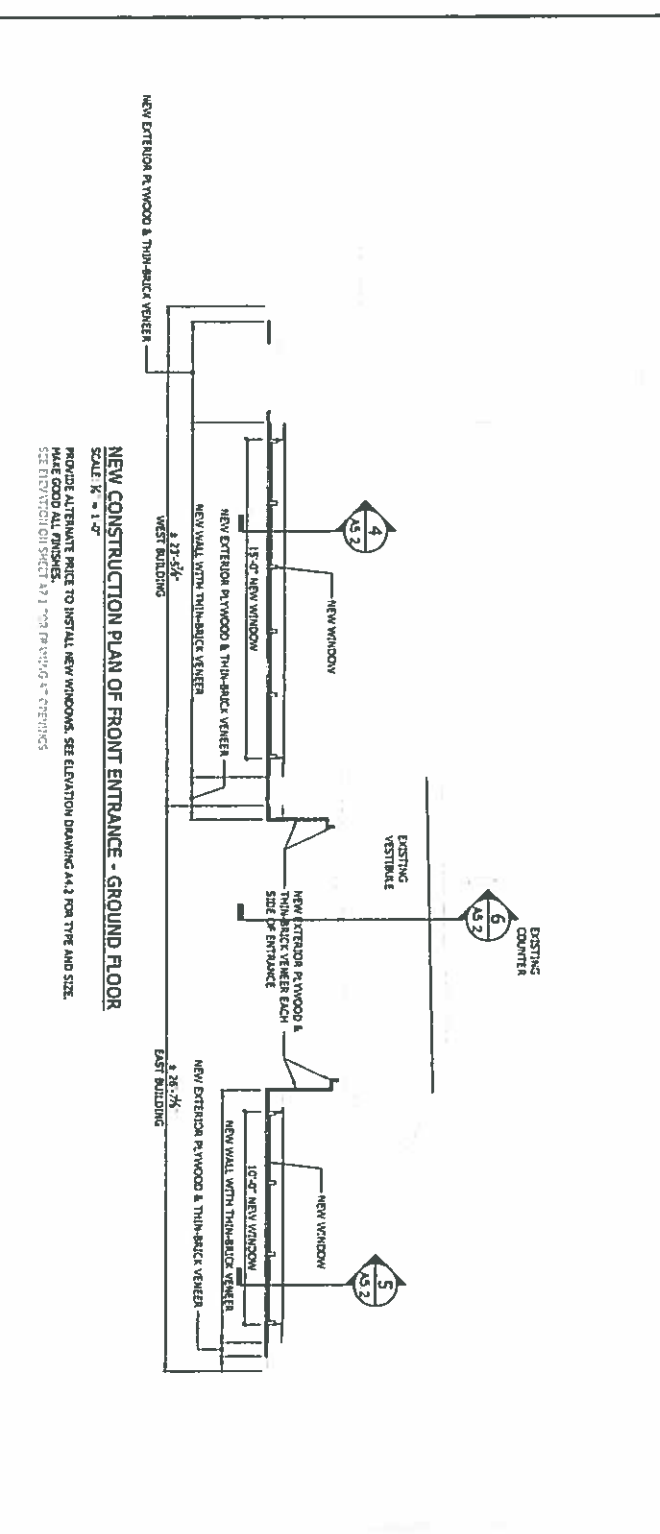

Signature of Owner



HOARDING/SCAFFOLDING PLAN
 GENERAL NOTES (ALL DESIGN REFERENCE STANDARDS TO CURRENT EDITION):
 1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE LEGISLATION AND REGULATIONS INCLUDING BUT NOT LIMITED TO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS.
 2. ALL EXISTING AND REMAINING STRUCTURES AND UTILITIES TO THE CONSULTANT BEFORE PROCEEDING WITH CONSTRUCTION.
 3. SAFEGUARD AND PROTECT ALL EXISTING STRUCTURES, SERVICES AND UTILITIES WHICH MAY BE AFFECTED BY THE WORK OF THIS PROJECT.
 4. CONTRACTOR TO NOTIFY ENGINEER FOR INSPECTION DURING CONSTRUCTION. SPH ENGINEERING NOT RESPONSIBLE FOR INSPECTIONS NOT PERFORMED DUE TO NON-ATTENDANCE.



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THIS DRAWING IS THE PROPERTY OF SPH ENGINEERING INC. and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR	<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> BULKHEAD TREATMENT
	<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> TENDER
	<input type="checkbox"/> SITE PLAN APPROVAL	<input type="checkbox"/> CONSTRUCTION

DATE	2018-06-25
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NOTE: DESIGN OF EXISTING BUILDING ARE TO BE USED FOR TENDERING PURPOSES. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

REV	DESCRIPTION	DATE
1	INSTALL NEW WINDOWS AT EXISTING EXTERIOR WALL	2018-06-25

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

BUILDING EXTERIOR RENOVATIONS

DATE	PIV	DATE	JH
JUNE 6, 2018			
PROJECT NUMBER	17237	PROJECT	AS NOTED
SCALE	1/8" = 1'-0"	SCALE	2 1/4" = 3'-0"

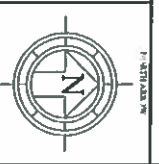
GROUND FLOOR PLANS PHASE 1

65 SPRINGBANK AVE N
 UNIT #1
 WOODSIDE C.N. ONTARIO
 N4S 8Y8

SPH ENGINEERING INC.
 65 SPRINGBANK AVE N
 UNIT #1
 WOODSIDE C.N. ONTARIO
 N4S 8Y8
 TEL: 519-539-5700
 FAX: 519-539-5775

17237Main4
A1.1

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ISSUED FOR
 PRELIMINARY
 CLIENT REVIEW
 SITE PLAN APPROVAL
 CONSTRUCTION

DATE 2018 Jun 25

NOTE:
 DEMOLITION OF EXISTING BUILDING ARE TO BE LEFT FOR THE ENGINEERING PARTNER'S CONTRACTOR TO SITE VERIFY ALL DIMENSION AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING

REV	DESCRIPTION	DATE
1	DELETE RE-POSTING EAST 305' AND REMOVE AND 250' 250' 250'	2018-06-22

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

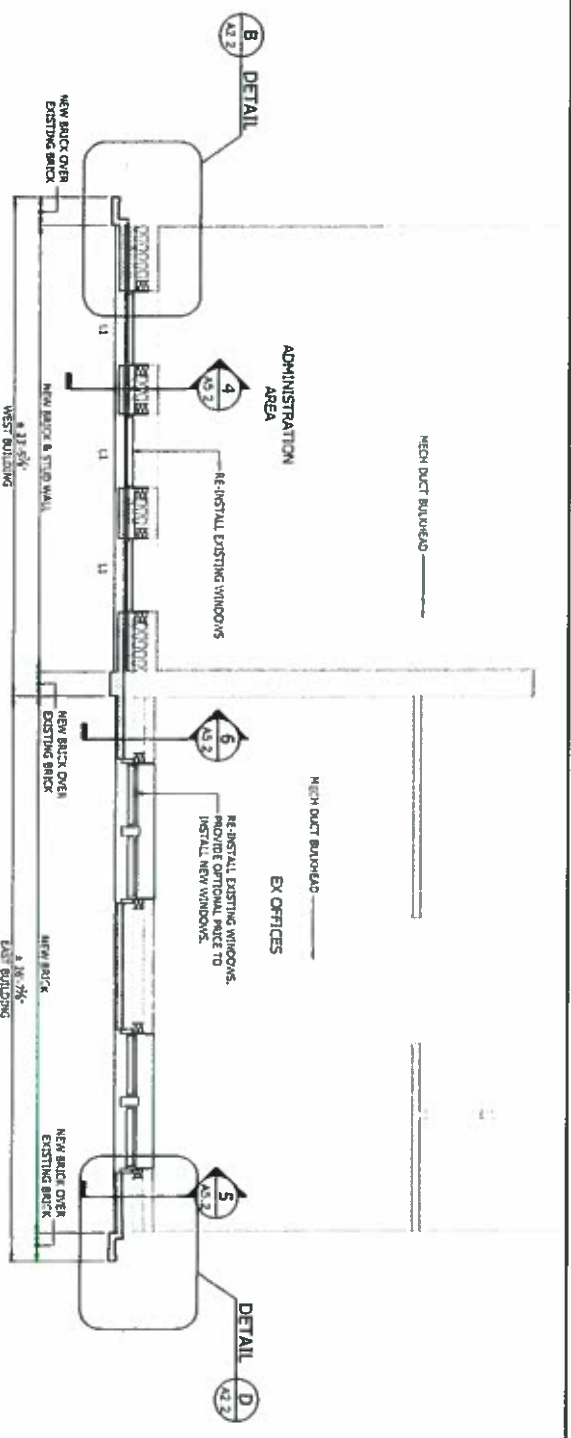
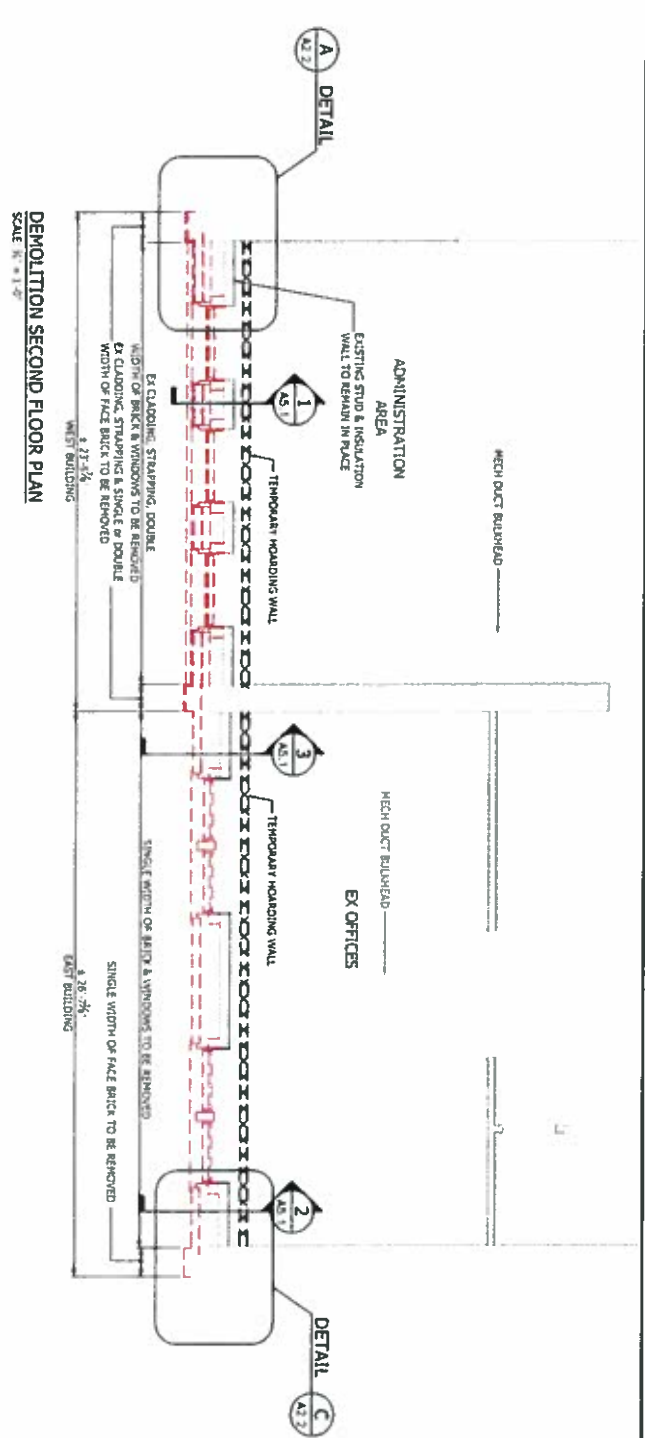
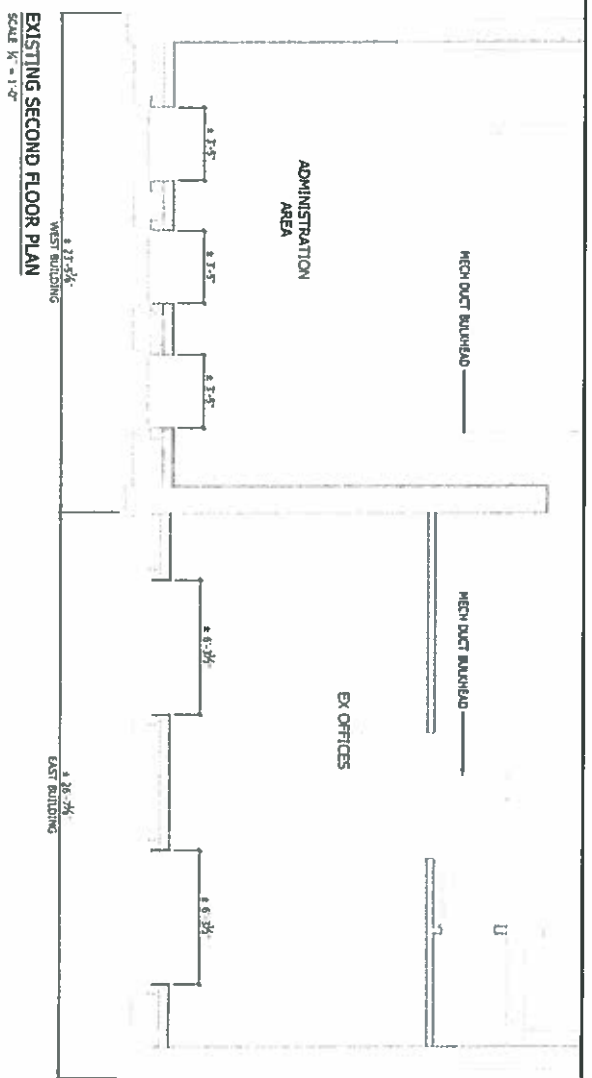
BUILDING EXTERIOR RENOVATIONS

SECOND FLOOR PLANS PHASE II

DATE: PIV
 JUNE 6, 2018
 17237

DATE: JH
 AS NOTED
 24.35

DATE	BY	REVISION
JUNE 6, 2018	PIV	AS NOTED
17237	JH	24.35



SPH ENGINEERING INC.
 65 SPRINGBANK AVE N
 UNIT #1
 WOODSTOCK, ONTARIO
 N4S 8Y8
 TEL 519-539-5700 FAX 519-539-5773

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ISSUED FOR
 PRELIMINARY
 CLIENT REVIEW
 SITE PLAN APPROVAL
 HINT LINDA TREWART
 TENDER B.
 CONSTRUCTION

DATE: 2018-06-23
NOTE: PORTION OF EXISTING BUILDING ARE TO BE SET FOR TENDERING PURPOSES AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING

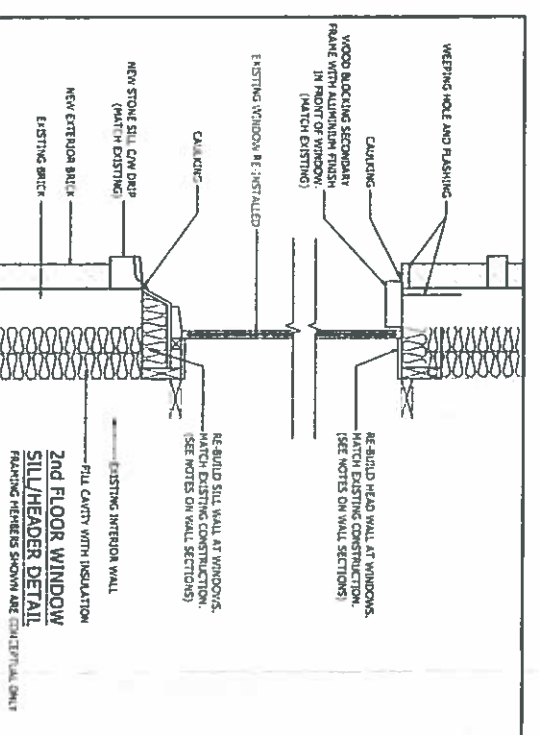
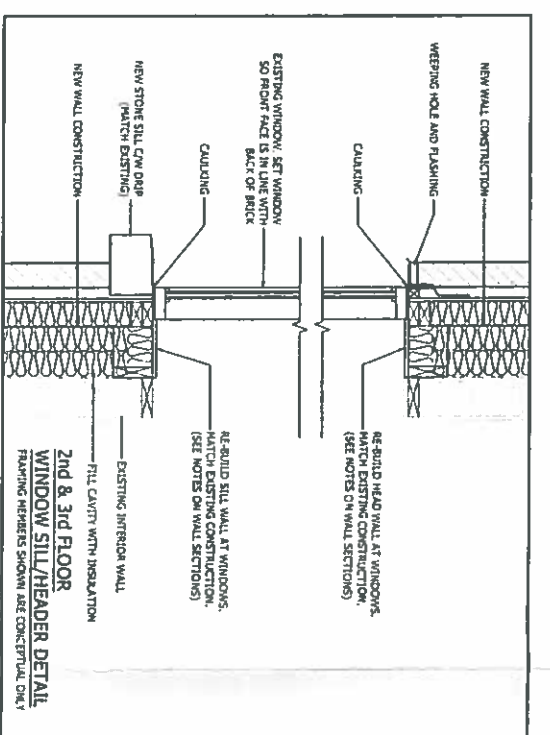
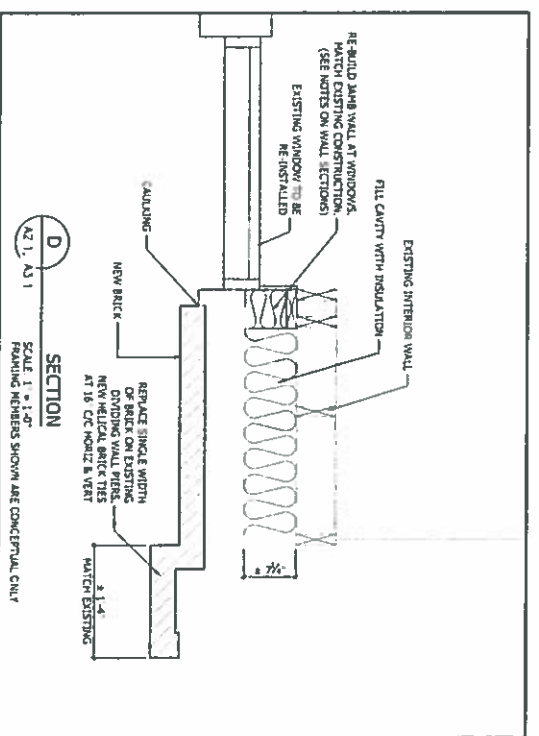
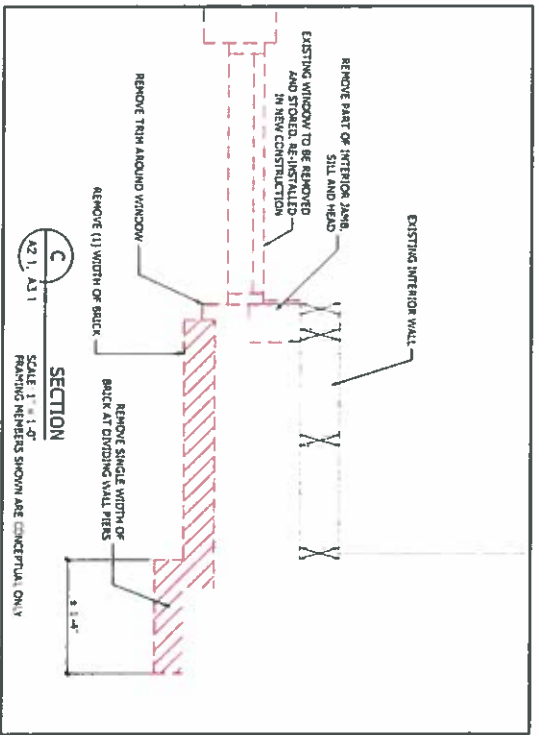
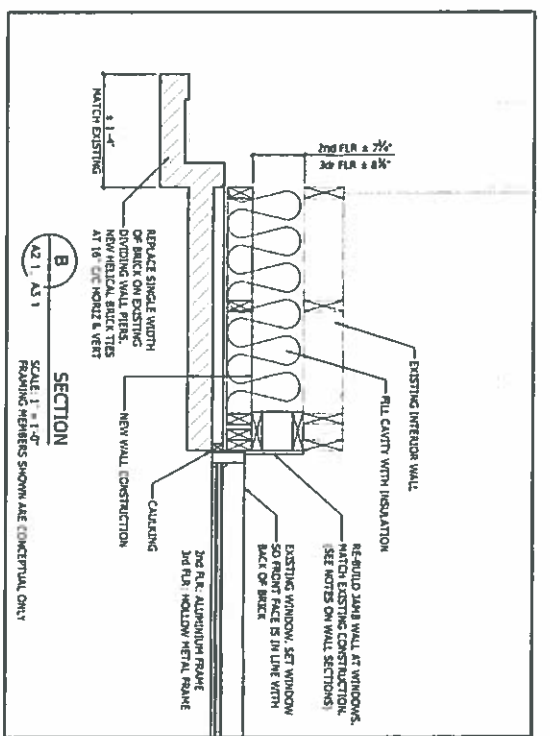
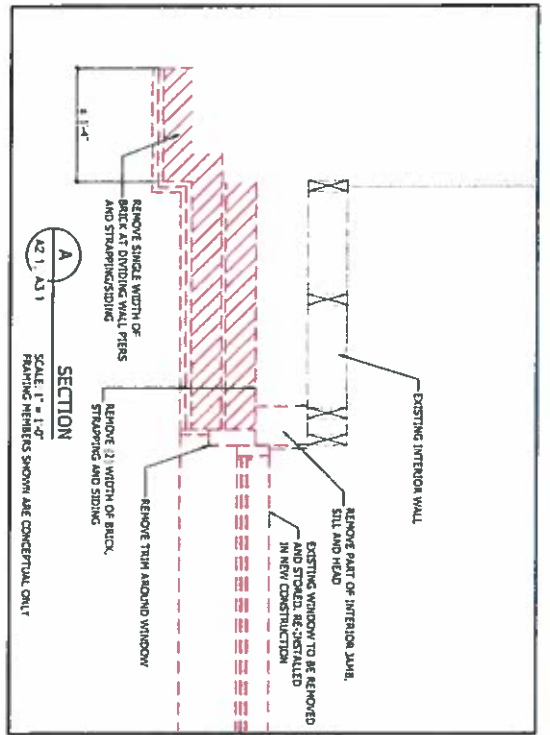
REV	DESCRIPTION	DATE
1	200 5/21/18 PROJECT	2018-05-22
2	200 5/21/18 PROJECT	2018-05-22

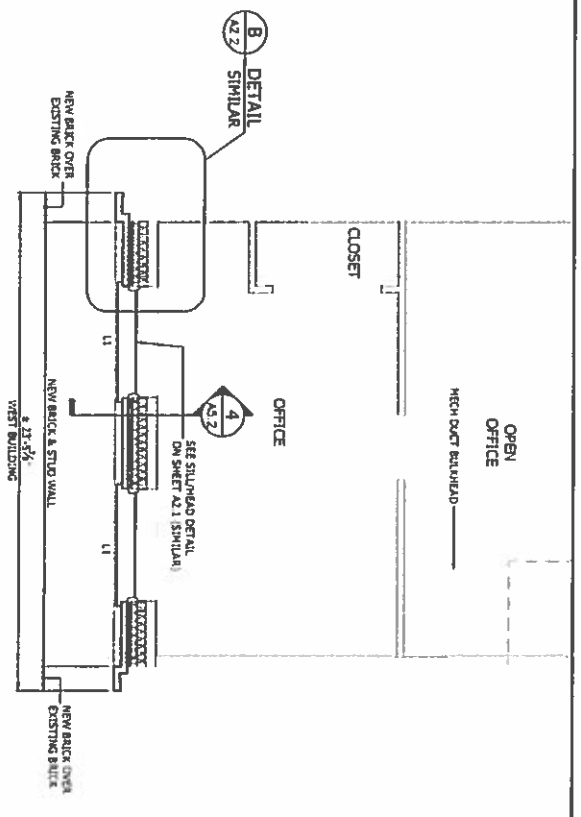
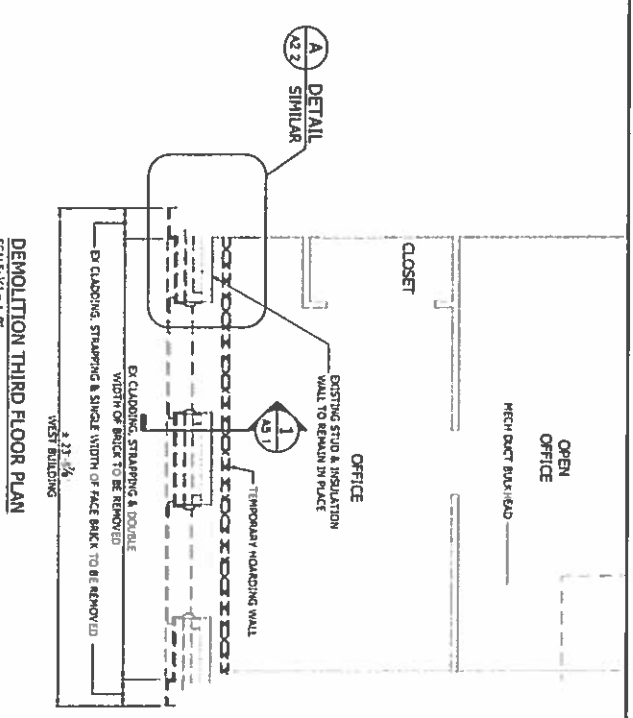
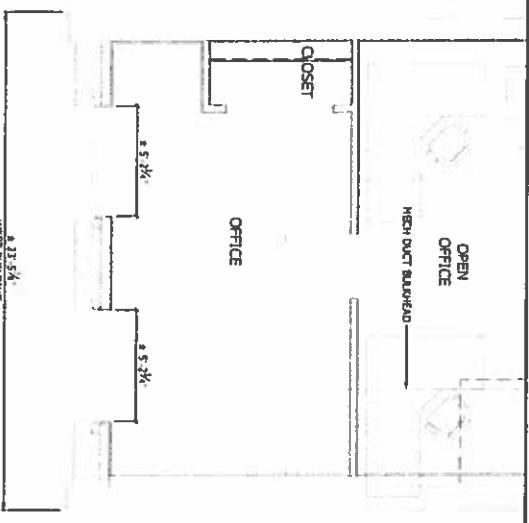
YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

BUILDING EXTERIOR RENOVATIONS

WALL DETAILS

SCALE	DATE	BY	CHKD
P/V		JH	
JUNE 6, 2018		AS NOTED	
17237		24.35	
17237Main4		A2.2	





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ISSUED FOR

PRELIMINARY BR/D DINA PERBAT

CLIENT REVIEW DESIGNER

SITE PLAN APPROVAL CONSTRUCTION

DATE: 2018-06-25

NOTE:
DIMENSIONS OF EXISTING BUILDING ARE TO BE USED FOR TABLING PURPOSES. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING

REV	DESCRIPTION	DATE

YUREK
519 TALBOT STREET
ST. THOMAS, ON.

BUILDING EXTERIOR
RENOVATIONS


SECOND
FLOOR PLANS
PHASE II

DATE	BY	CHKD	APP'D
JUNE 6, 2018	PJV	JH	
17237			
17237			
17237			

AS NOTED

24.3.15

A3.1

 **SPH ENGINEERING INC.**
 65 SPRINGBANK AVE N UNIT #1
 BRAM WOOD ENGINEERING SOLUTIONS
 WOODBURY ON, CANADA
 TEL 519-539-5700 FAX 519-539-5775
 N4S 8V8

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ISSUED FOR

PRELIMINARY INITIAL REPORT
 CLIENT REVIEW TENDER
 SITE PLAN APPROVAL CONSTRUCTION

DATE: 2018-06-25

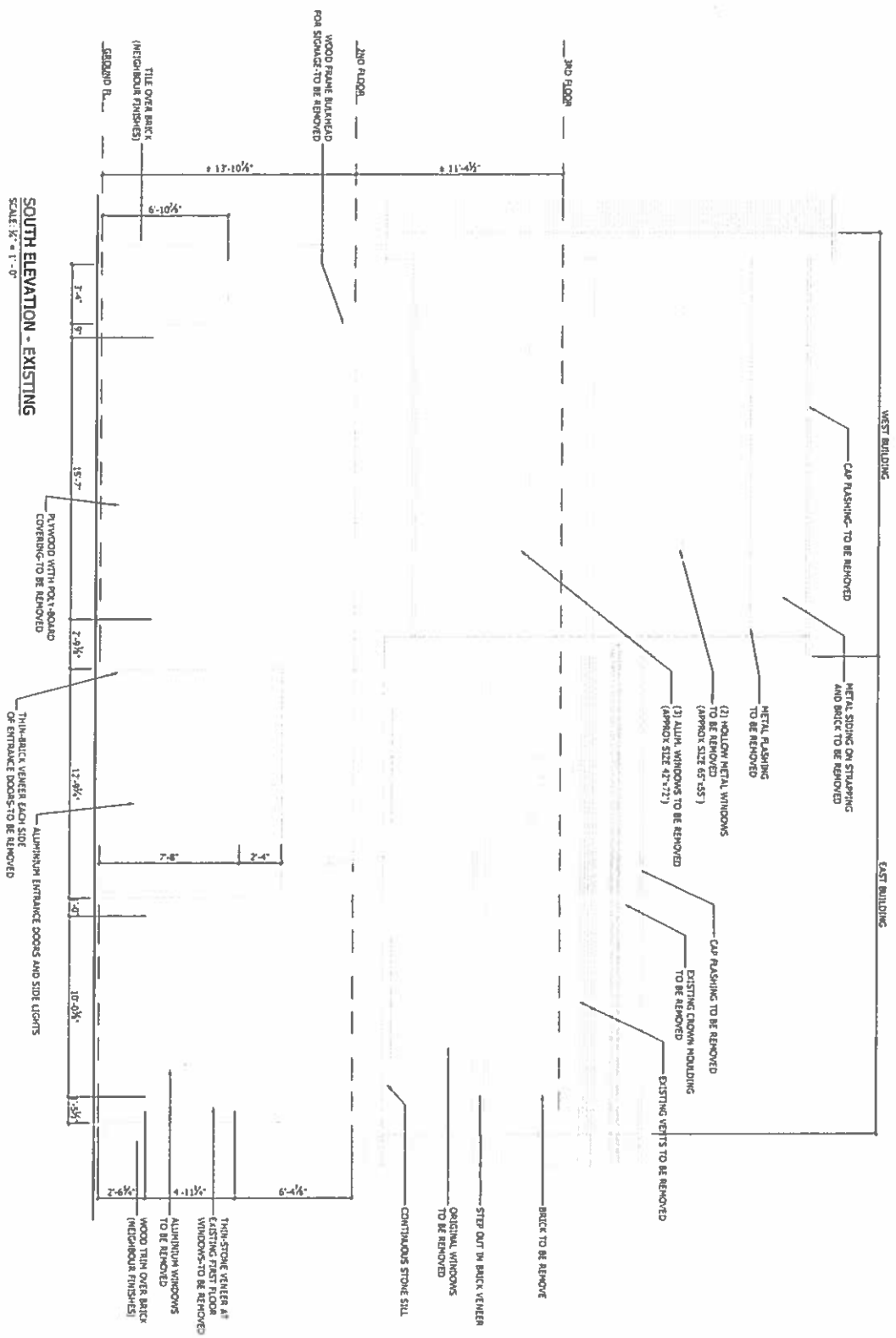
NOTE:
 DIMENSION OF EXISTING BUILDING ARE TO BE VERIFIED BY THE ARCHITECT PRIOR TO SITE VISIT. ALL DIMENSION AND EXISTING CONDITION BEFORE CONSTRUCTION REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

REV	DESCRIPTION	DATE
1	EAST BUILDING BRICK TO BE REMOVED	2018-06-25

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.
 BUILDING EXTERIOR
 RENOVATIONS

**SOUTH ELEVATION
 (EXISTING)**

DESIGN	DATE	BY	SCALE
PIV	JUN 6, 2018	JH	AS NOTED
PROJECT NO.	17237	PROJECT	24.35
PROJECT NAME	17237MAIN4	SCALE	A4.1



SOUTH ELEVATION - EXISTING

SCALE: 3/8" = 1'-0"
 DIMENSION SHOWN OR NOTED ARE APPROXIMATE. ALL TO BE FIELD VERIFIED.

NOTE:
 DIMENSIONS TO EXISTING, LISTING OF MATERIALS OF BRICK AND STONE SHALL BEFORE REMOVAL. DIMENSIONS TO ALLOW FEATURES TO BE DUPLICATED IN NEW BRICK EXTENSION.



SPH ENGINEERING INC.
 65 SPRINGBANK AVE N
 UNIT #1
 WOODS LOCK, ONTARIO
 N4S 8V8
 TEL: 519-539-5700
 FAX: 519-539-5775

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ISSUED FOR	
<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> TENDER
<input type="checkbox"/> SITE PLAN APPROVAL	<input type="checkbox"/> CONSTRUCTION
DATE	2018-06-25

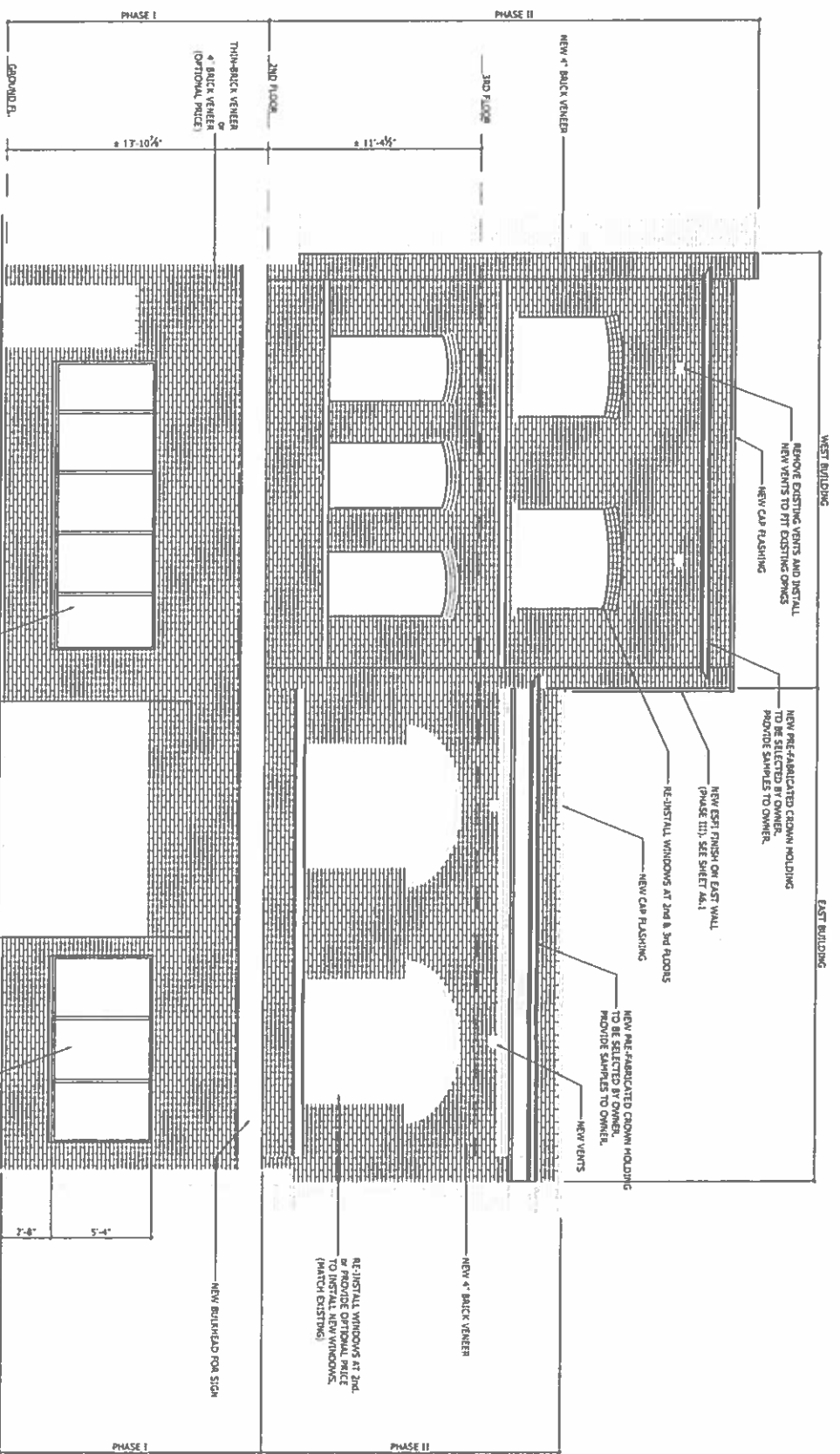
NOTE: REVISIONS OF EXISTING BUILDING ARE TO BE MADE FOR TYPICAL REVISIONS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DISTRICT OF COLUMBIA CODES AND REGULATIONS. ALL DIMENSIONS AND DISTANCES SHOWN SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. ANY DISCREPANCIES TO SPH ENGINEERING.

REV.	DESCRIPTION	DATE
1	NEW WINDOWS AT GROUND FLOOR FOR NEW BUILDING FOR EAST BUILDING	2018-06-25

YUREK
519 TALBOT STREET
ST. THOMAS, ON.
BUILDING EXTERIOR
RENOVATIONS

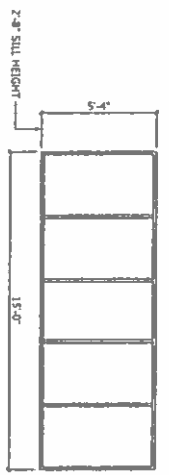
SOUTH ELEVATION
(NEW CONSTRUCTION)

DATE	REVISED BY	DATE
JUNE 6, 2018	PJV	JH
17237	AS NOTED	24.35
17237Main4		
A4.2		

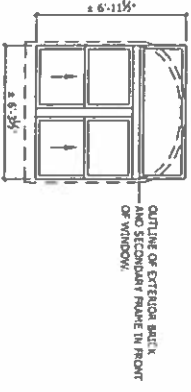
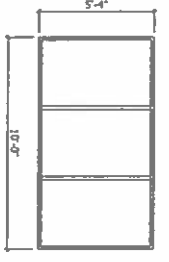


SOUTH ELEVATION - NEW CONSTRUCTION

SCALE: 1/4" = 1'-0"
 PHASE I: NEW WALL CONSTRUCTION GROUND FLOOR TO 2ND FLOOR ON WEST & EAST BUILDING.
 PHASE II: WEST BUILDING = NEW WALL CONSTRUCTION FROM 2ND FLOOR TO TOP OF MAJORITY OF BUILDING = NEW WALL CONSTRUCTION FROM 2ND FLOOR TO TOP OF MAJORITY.



GROUND FLOOR NEW WINDOWS
 NEW ALUMINUM WINDOW AT GROUND FLOOR LEVEL. CLEAR ANCHORS, TYPED TEMPERED GLASS, THERMAL DOUBLE GLAZED. MATCH WITH EXISTING. MAXIMUM GLASS = 13'0\"/>



2nd FLOOR NEW WINDOWS
 PROVIDE ALTERNATE PRICE TO INSTALL NEW ALUMINUM WINDOW AT 2ND FLOOR LEVEL EAST BUILDING. INSTALL ALUMINUM WINDOW TO MATCH EXISTING. PROVIDE TYPED TEMPERED GLASS, THERMAL DOUBLE GLAZED. MATCH WITH EXISTING. MAXIMUM GLASS = 13'0\"/>

This drawing is the property of SPH Engineering Inc and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR	
<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> BUILDING PERMITS
<input type="checkbox"/> CLIENT REVIEW	<input type="checkbox"/> TENDER
<input type="checkbox"/> SITE PLAN APPROVAL	<input type="checkbox"/> CONSTRUCTION
DATE	2018-06-25

NOTE:
 THE CONDITION OF EXISTING BUILDING ARE TO BE USED FOR TENDERING PURPOSES. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING

REV	DESCRIPTION	DATE
1	REMOVE BRICK ABOVE 2nd FLOOR ON 2nd FLOOR	2018-06-25

YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.

DEMOLITION
BUILDING SECTIONS

DATE	REVISED	BY
P/V		JH
DATE	SCALE	AS NOTED
JUNE 6, 2018		
PROJECT NO.	PROJECT NAME	
17237	244.35	
PROJECT	DATE	
17237Main4	244.35	



SECTION 1
 AT 1/2" = 1'-0" SCALE 1/2" = 1'-0"

SECTION 2
 AT 1/2" = 1'-0" SCALE 1/2" = 1'-0"

SECTION 3
 AT 1/2" = 1'-0" SCALE 1/2" = 1'-0"

NOTE:
 CONTRACTOR TO DOCUMENT EXISTING FEATURES OF BRICK AND STONE SILLS BEFORE REMOVING EXISTING BRICK TO ALLOW FEATURES TO BE DUPLICATED IN NEW BRICK EXTENSION.

This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR	PRELIMINARY	BRITISH STANDARD
	CLIENT REVIEW	OWNER
		CONSTRUCTION
DATE	2018-05-25	SITE PLAN APPROVAL

NOTE: DIMENSIONS OF EXISTING BUILDING ARE TO BE USED FOR THE EXISTING PORTIONS. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

REV	DESCRIPTION	DATE
1	ADD NEW BRICK ABOVE 2ND FLOOR	2018-05-25
2	REVISED SECTION 5, 6 & 6	

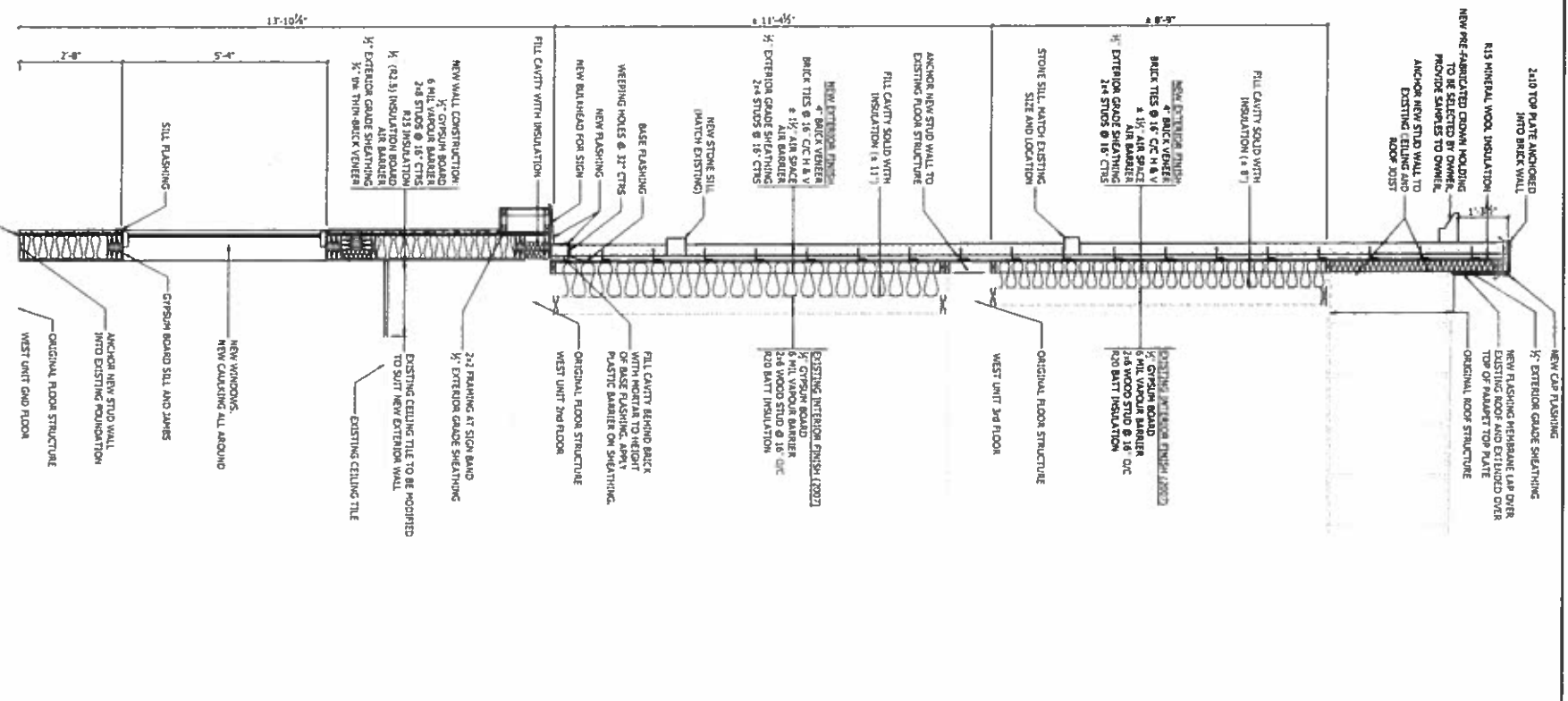
YUREK
519 TALBOT STREET
ST. THOMAS, ON.

BUILDING EXTERIOR RENOVATIONS

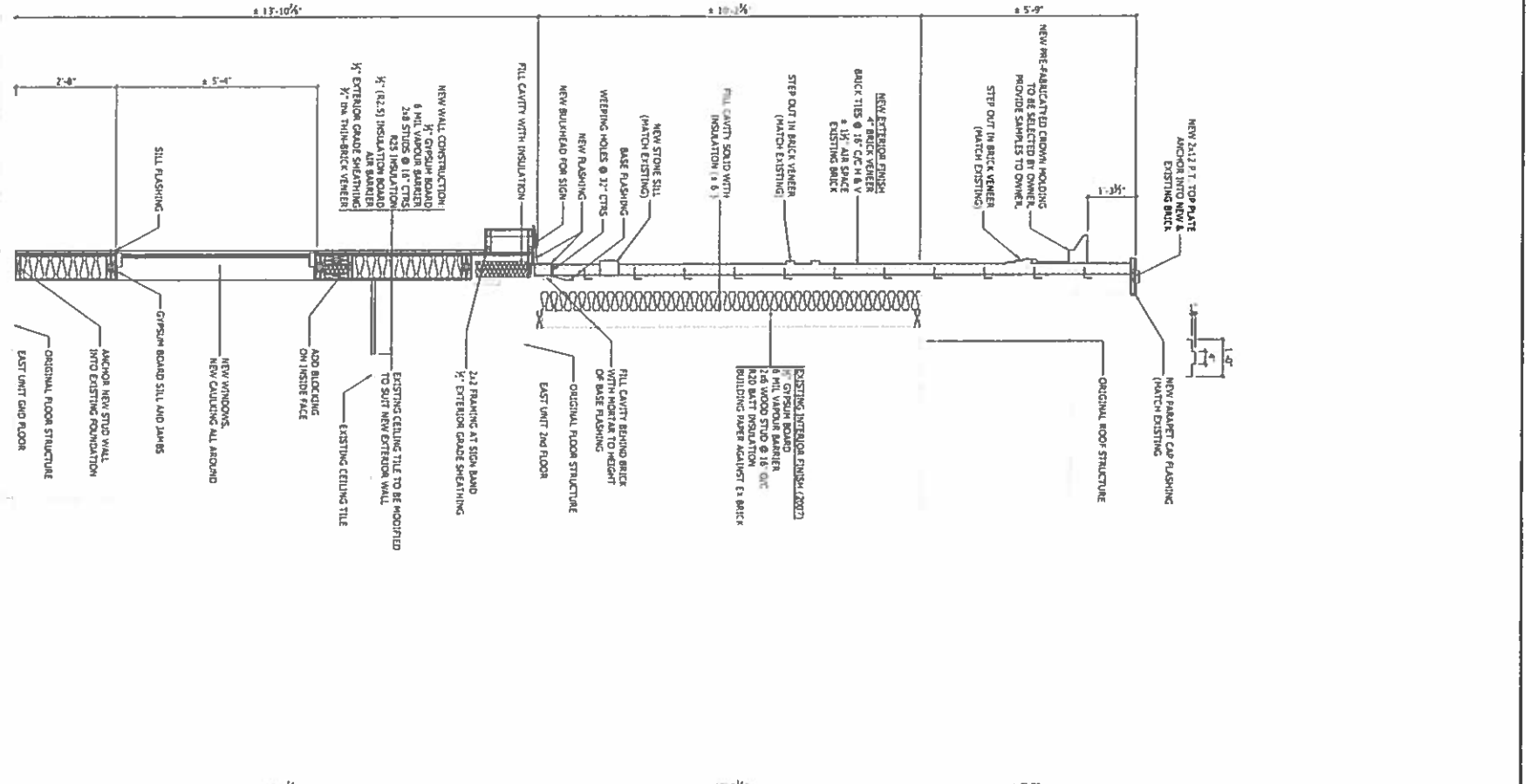
NEW CONSTRUCTION BUILDING SECTIONS

DATE	REVISED	BY
P/V		JH
JUNE 6, 2018		AS NOTED
17237		2 & 3, 5
17237		A5.2

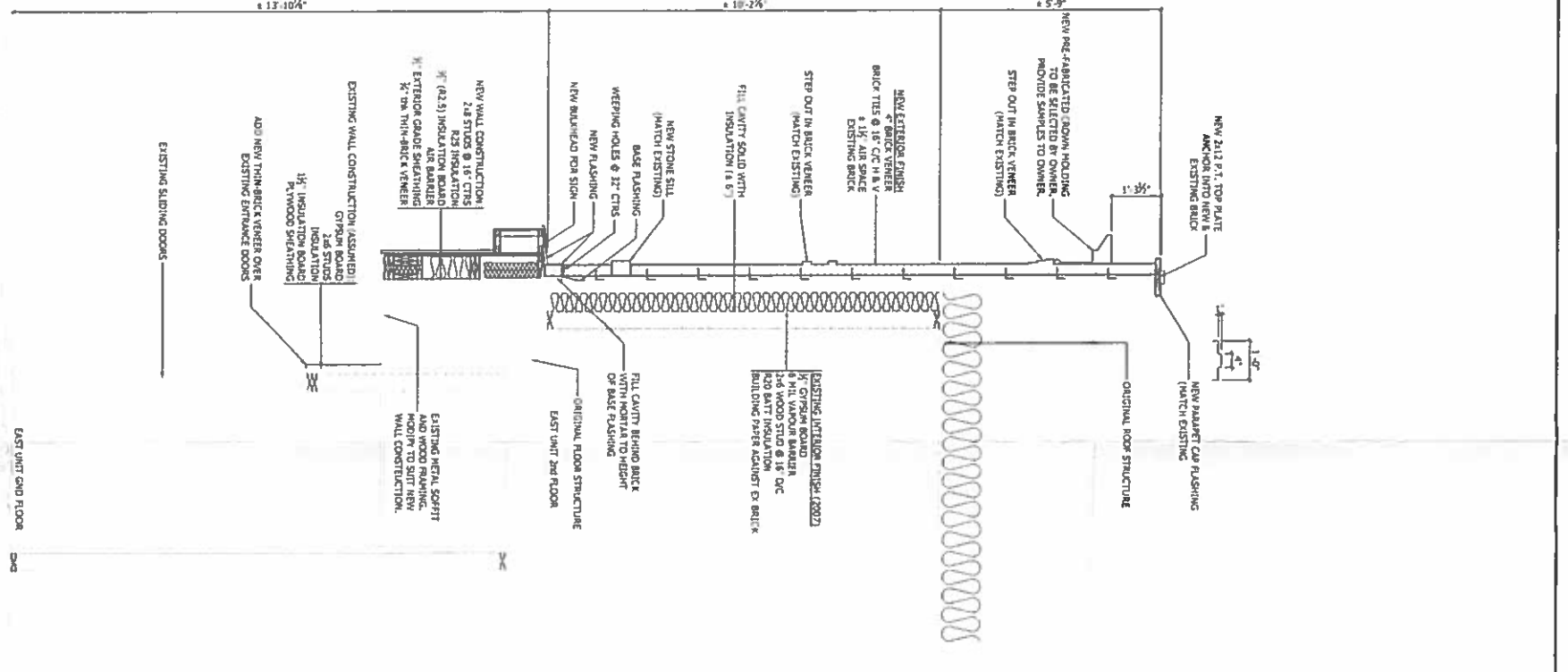
SPH ENGINEERING INC.
 65 SPRINGBANK AVE N
 UNIT #1
 WOODS LOCK, ONTARIO
 N4S 8V8
 TEL: 519-539-5700 FAX: 519-539-5775



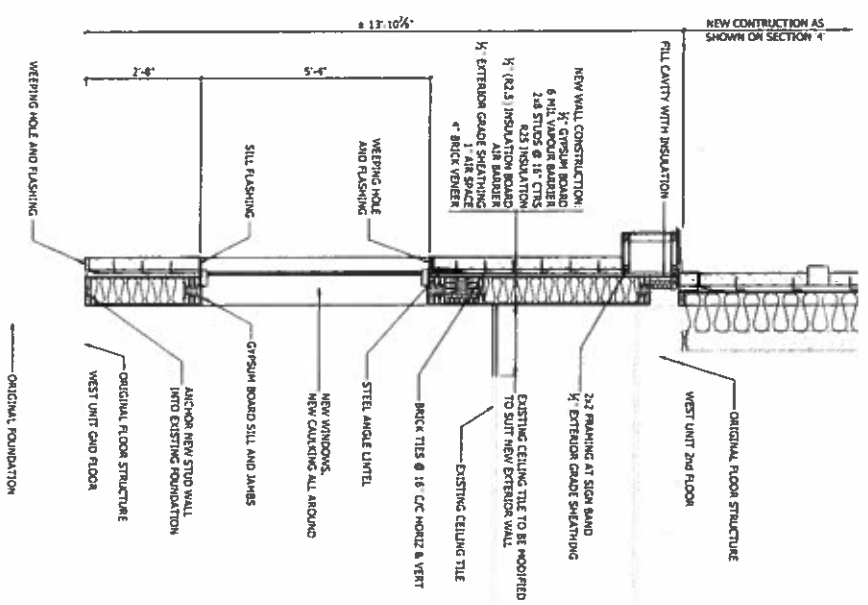
SECTION 4
 SCALE: 1/2" = 1'-0"



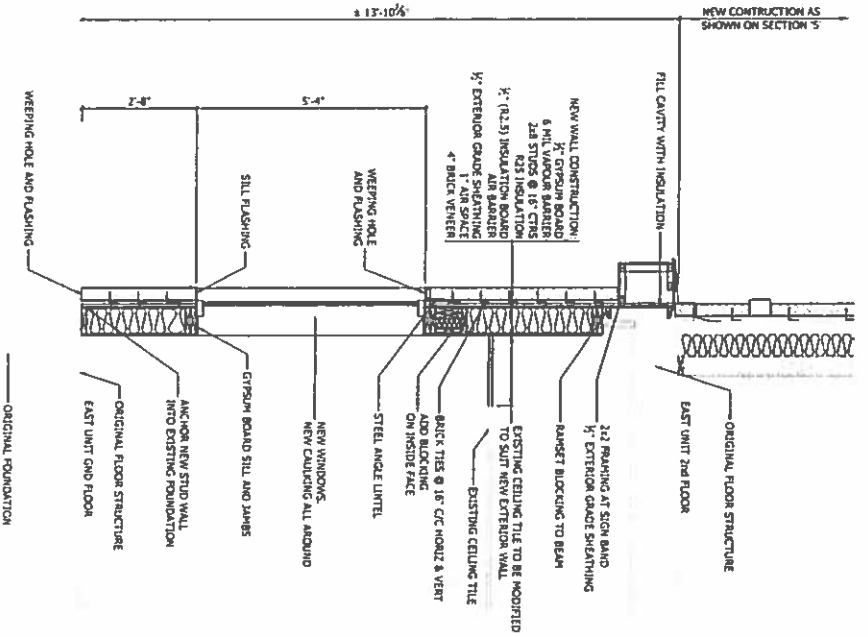
SECTION 5
 SCALE: 1/2" = 1'-0"



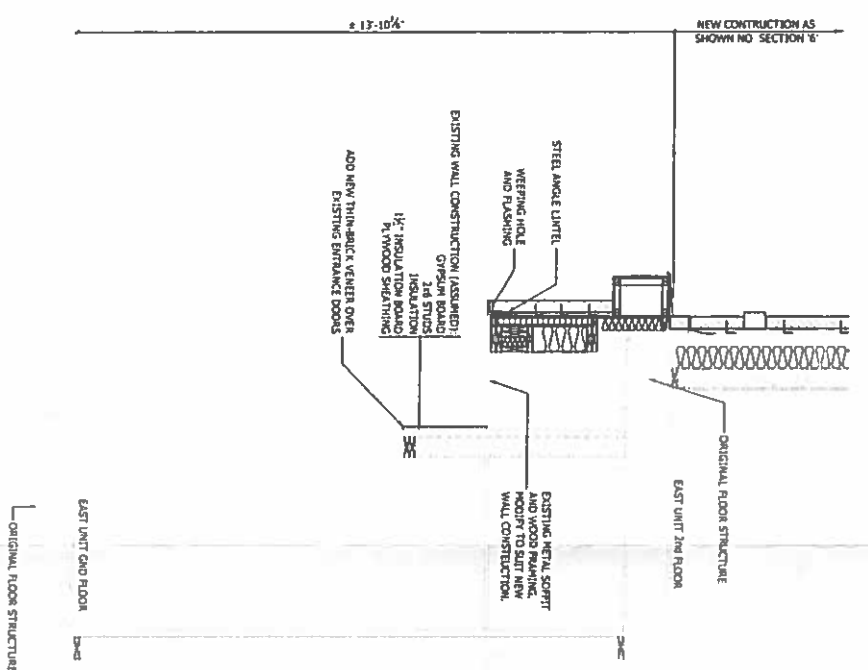
SECTION 6
 SCALE: 1/2" = 1'-0"



7 SECTION
A1.2 SCALE 1/2"=1'-0"



8 SECTION
A1.2 SCALE 1/2"=1'-0"



9 SECTION
A1.2 SCALE 1/2"=1'-0"

This drawing is the property of SPH Engineering Inc and is not to be copied or distributed for any reason or by any means without the permission of the owner.

ISSUED FOR
 PRELIMINARY
 CLIENT REVIEW
 DESIGN APPROVAL
 CONSTRUCTION

NOTE: DIMENSIONS OF EXISTING BUILDING ARE TO BE VERIFIED BY THE ARCHITECT TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO SPH ENGINEERING

REV	DESCRIPTION	DATE

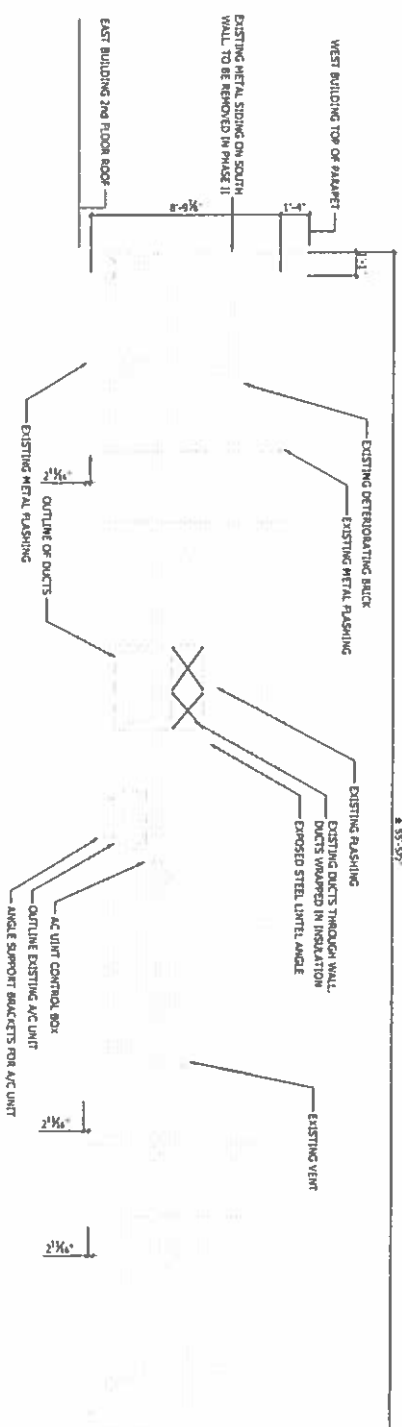
YUREK
 519 TALBOT STREET
 ST. THOMAS, ON.
 BUILDING EXTERIOR
 RENOVATIONS

**NEW CONSTRUCTION
 BUILDING SECTIONS
 ALTERNATE**

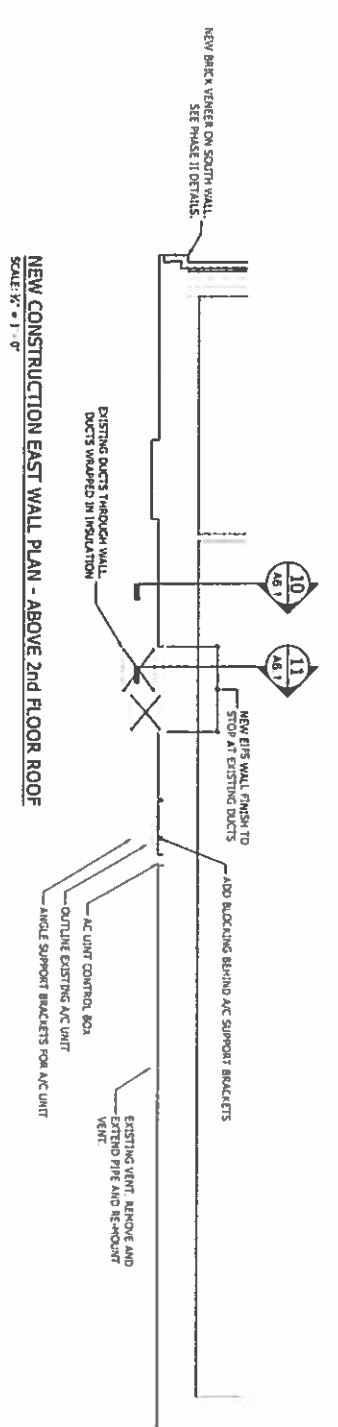
DATE	PIV	JH
DATE	JUNE 6, 2018	AS NOTED
PROJECT NUMBER	17237	24.35
REVISION	17237/MAIN4	A5.3



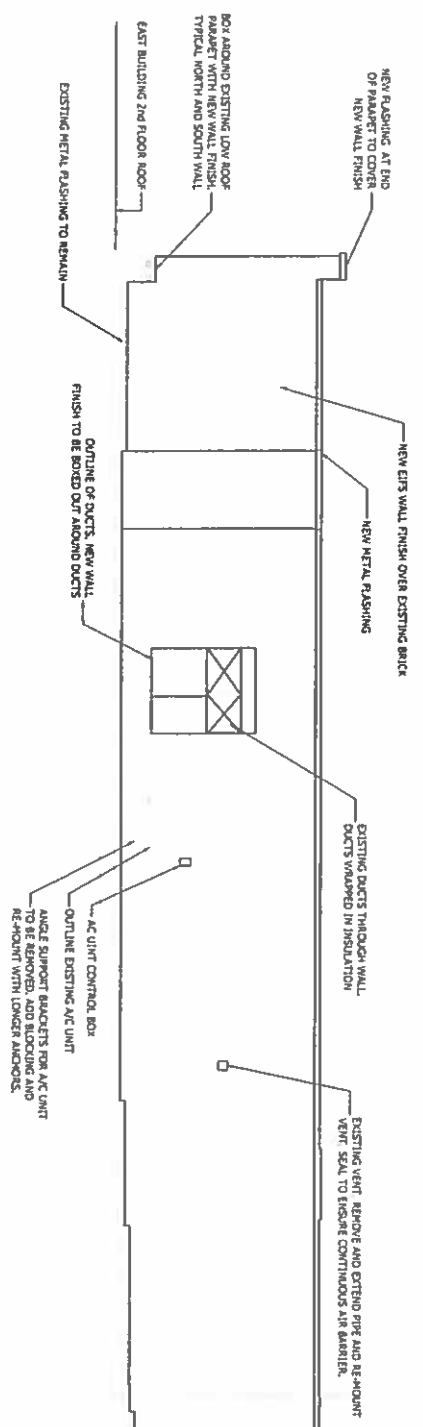
EXISTING EAST WALL PLAN - ABOVE 2ND FLOOR ROOF
SCALE: 1/4" = 1'-0"



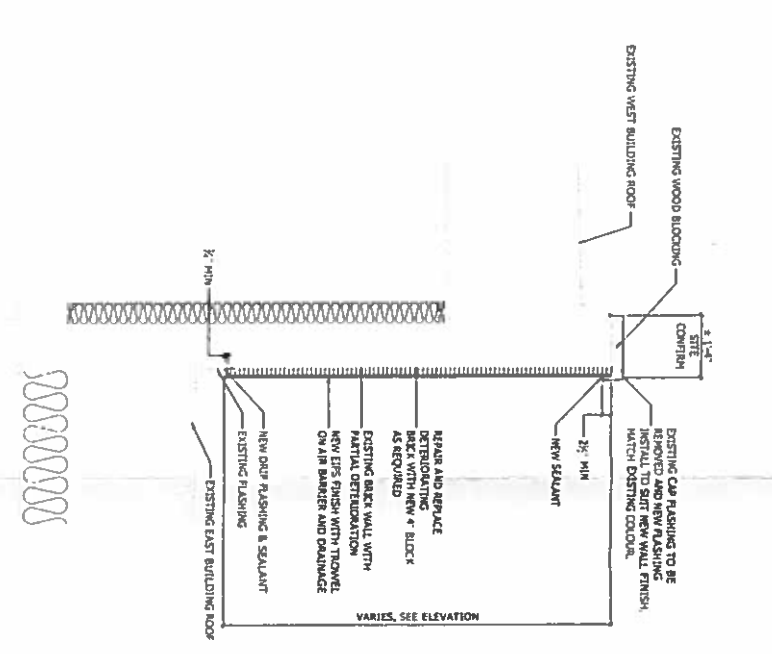
EXISTING EAST ELEVATION - ABOVE 2ND FLOOR ROOF
SCALE: 1/2" = 1'-0"



NEW CONSTRUCTION EAST WALL PLAN - ABOVE 2ND FLOOR ROOF
SCALE: 1/4" = 1'-0"

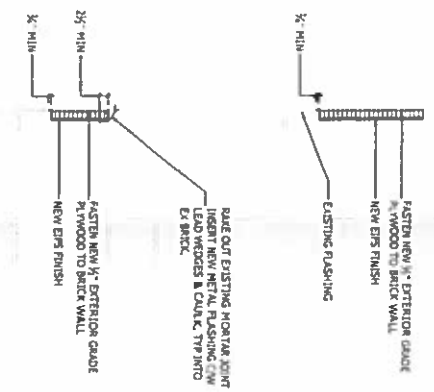


NEW CONSTRUCTION EAST ELEVATION - ABOVE 2ND FLOOR ROOF
SCALE: 1/2" = 1'-0"



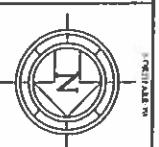
10 SECTION
SCALE: 1/2" = 1'-0"

THIS SECTION REPRESENTS AN APPROXIMATE CONSTRUCTION OF EAST WALL. SOME INFORMATION IS ASSUMED BECAUSE IT IS NOT ACCESSIBLE FOR VIEWING.



11 SECTION
SCALE: 1/2" = 1'-0"

This drawing is the property of SPH Engineering Inc. and is not to be copied or distributed for any reason or by any means without the permission of the owner.



- ISSUED FOR
- PRELIMINARY
 - CONTRACT PREPARED
 - CLIENT REVIEW
 - SITE MAN APPROVAL
 - CONSTRUCTION

DATE: 2014-06-25

NOTE: DIMENSION OF EXISTING BUILDING ARE TO BE USED FOR TYPING PURPOSES. CONTRACTOR TO SITE VERIFY ALL DIMENSION AND EXISTING CONDITION BEFORE CONSTRUCTION. REPORT ANY DISCREPANCIES TO SPH ENGINEERING.

REV	DESCRIPTION	DATE

YUREK
519 TALBOT STREET
ST. THOMAS, ON.

BUILDING EXTERIOR
RENOVATIONS

EAST WALL
PLAN
PHASE III

DATE	BY	APP'D	REVISION
JUNE 6, 2018	PJV	JH	AS NOTED
17237			2.4, 3.5
17237			17237Main4

SPH ENGINEERING INC.
65 SPRINGBANK AVE N
UNIT #1
WOODS FORD, ONTARIO
M4S 1V8
TEL: 519-539-5700
FAX: 519-539-5775





MEMO

City of St. Thomas
Received

OCT 11 2018

City Clerks Dept.

DATE: October 10th, 2018

ATTENTION: Melanie Knapp, Secretary, Municipal Heritage Committee

SUBJECT: Heritage Alteration Permit
389 & 393 Talbot Street West
HAP-01-18

Please find attached a notice of receipt for Heritage Alteration Permit within the City of St. Thomas. The applicant has consulted with Planning & Building Services Department Staff and the application has been deemed complete.

As per the Heritage Alteration Permit process, the attached material is being provided for your circulation to the Municipal Heritage Committee for consideration and recommendation to Council. In scheduling a meeting with the Municipal Heritage Committee and the applicant, please copy the Planning & Building Services Department for our records.

Through the consultation process, Planning & Building Staff do not have any additional comments for the Municipal Heritage Committee's consideration.

If you have any questions, please contact the Planning & Building Services Department.

Regards,



Crystal Penney
Planning & Building Services Coordinator



PLANNING & BUILDING SERVICES DEPARTMENT

t. (519) 633.2560 f. (519) 633.6581

9 Mordmain Street
St. Thomas, Ontario, N5P 2T9

NOTICE OF RECEIPT FOR HERITAGE ALTERATION PERMIT
(Section 42(3) of the Ontario Heritage Act, R.S.O. 1990, c. O.18, as amended)

October 10th, 2018

Craig Hansford
543 Oakridge Drive
London, Ontario
N6H 3E8

Re: Notice of Receipt
Heritage Alteration Permit
File No.: HAP-01-18
Property: 389 & 393 Talbot Street West

Pursuant to Section 42(3) of the Ontario Heritage Act, as amended, this letter is notice that the information and material required through the City of St. Thomas' Application for Heritage Alteration Permit has been provided and the application is thereby considered complete.

Council of the City of St. Thomas has 90 days from the issue of receipt of this notice to make a decision to grant or refuse this application.

The Secretary of the Municipal Heritage Committee has been circulated this notice and application for inclusion on the next available meeting agenda date. You will receive a separate notice of confirmation of your Municipal Heritage Committee meeting date and time. It is advisable for you or a representative to attend this meeting to present and respond to questions on your Heritage Alteration Permit application.

Please contact the Planning & Building Services Department at 519-633-2560 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "Jim McCoomb".

Jim McCoomb
Manager of Planning Services

cc: Melanie Knapp, Corporate Administrative and Accessibility Clerk, City of St. Thomas

Corporation of the City of St. Thomas

APPLICATION FOR A HERITAGE ALTERATION PERMIT

Pursuant to Section 33(2) and Section 42(2.1) of the Ontario Heritage Act

OFFICE USE:	Date Application Received: <u>OCT 04 2018</u>	Consultation Date: <u>May 8/18 / Oct 4/18</u>
	Date Application Deemed Complete: <u>OCT 10 2018</u>	File Number: <u>HAP 01-18</u>

OWNER/APPLICANT

1. Property Owner
 Name: Craig Hansford (2436069 Ontario Ltd.)
 Address: 543 Oakridge Drive London Ontario
 Postal Code: N6H 3E8 Phone: 519 520 0226 Fax: _____
 Email: info@maverickrealestateinc.com

2. Agent/Applicant
 Name: _____
 Company: _____
 Address: _____
 Postal Code: _____ Phone: _____ Fax: _____
 Email: _____

Who is the primary contact?

Registered Owner Applicant/Agent

*Note: Unless otherwise requested all communications will be sent to the Applicant.

*Please indicate the method of communication you would like to be contacted by.

Phone Email Fax Mail

PROPERTY INFORMATION

1. Municipal Address: 389 + 393 Talbot St West St Thomas
ON

2. Legal Description: pt Lt 2 BTN Talbot St And Lawrence St PC 37
St Thomas as in E420666; S/T Interest E420666; St. Thom

SUMMARY OF WORK PROPOSED

1. What kind of permit is required?

Alteration to Building/Property New Construction Demolition

2. Check all types of work that would happen in your proposed project:

- demolition of a building or part of a building, such as a building façade
- removal of a building to a different location on site or to another site
- erection of a new building, a new façade, a new storefront, an addition to an existing building, a new garage or a new fence or wall
- structural intervention that affects the external appearance of a building
- repointing and repairing masonry, cleaning masonry of paint or grime, or painting or staining
- removal of parging, External Insulation and Finish System, siding or façade screen from walls or installation of new wall material to replace or cover existing wall material
- alteration of doors and windows, their heads and their surrounds, or cutting of new door and window openings in walls
- alteration of roofline or skyline by changes to cornices, overhangs, eaves, parapets, chimneys, domers, rooftop equipment, towers and roof shape, or alteration of historic roof coverings such as slate
- removal or addition of architectural detail, such as storefront cornices, decorative brickwork, stone trim, brackets, window shutters, awnings, porches and balconies
- erection of a sign
- alteration of streets and their boulevards, squares, parking lots

3. Please list below, any documents included with this submission (drawings, site plan, specifications, photographs and other documents as needed to illustrate the project). Requirements will depend on the scale of the project.

Front elevations, 1 Proposed structural drawings,
& conceptual drawings of front.

4. Explain the reasons for undertaking the alterations and describe how the proposal conforms to the Part IV individual designation by-law or Part V Heritage Conservation District Plan design guidelines. Attach additional page(s) if needed.

Reasons for Alterations is a general cleanup
& aesthetics. It will conform because
we are keeping all the original Brick &
working with Heritage & CIP to make
project suitable.

APPLICANT DECLARATION

By making this application, permission is hereby granted to any Municipal staff members and Municipal Planning Consultant to enter upon the premises described in this application at a reasonable time for the purpose of inspecting the property in relation to the proposed application and for distributing information concerning the same. This information is being collected pursuant to the Ontario Heritage Act, Municipal Act, and Freedom of Information Act. The information contained herein will be distributed to bodies and agencies prescribed by legislation and regulation and also to interested parties.

If this application is signed by an agent or solicitor on behalf of an applicant, the owner's written authorization must accompany the application (**Appendix A**). If the applicant is a corporation acting without an agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT

Application information is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. In accordance with the Act, it is the policy of the City of St. Thomas to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I Craig Hanstavel, the Owner or Authorized Agent, hereby agree and acknowledge that the
(Print name of Owner or Authorized Agent)

information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56, I hereby consent to the City of St. Thomas making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Collection of Personal Information:

Personal information on this form is collected under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act. The information will be used for the purposes of administering the heritage permit application and ensuring appropriate service of notice of receipt under Section 33(3) and Section 42(3) of the Ontario Heritage Act. Questions about this collection should be directed to the Director of Planning and Building Services, 9 Mondamin Street, St. Thomas, Ontario, N5P 2T9, (519) 633-2560.

AFFIDAVIT OR SWORN DECLARATION

I, Craig Hanstavel of St Thomas in the province of Ontario,
name of applicant City

make oath and say (or solemnly declare) that the information required under the authority of Section 33(2) and Section 42(2.1) of the Ontario Heritage Act and provided by the applicant in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the City of St Thomas on this 4th day of October, 2018.
City Day Month Year

Craig Hanstavel
Signature of Owner or Authorized Agent

October 4th 2018
Date

Crystal Marie Penney
Signature of Commissioner of Oaths, etc.

October 4, 2018
Date


Crystal Marie Penney, a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of St. Thomas.
Expires September 18, 2019.

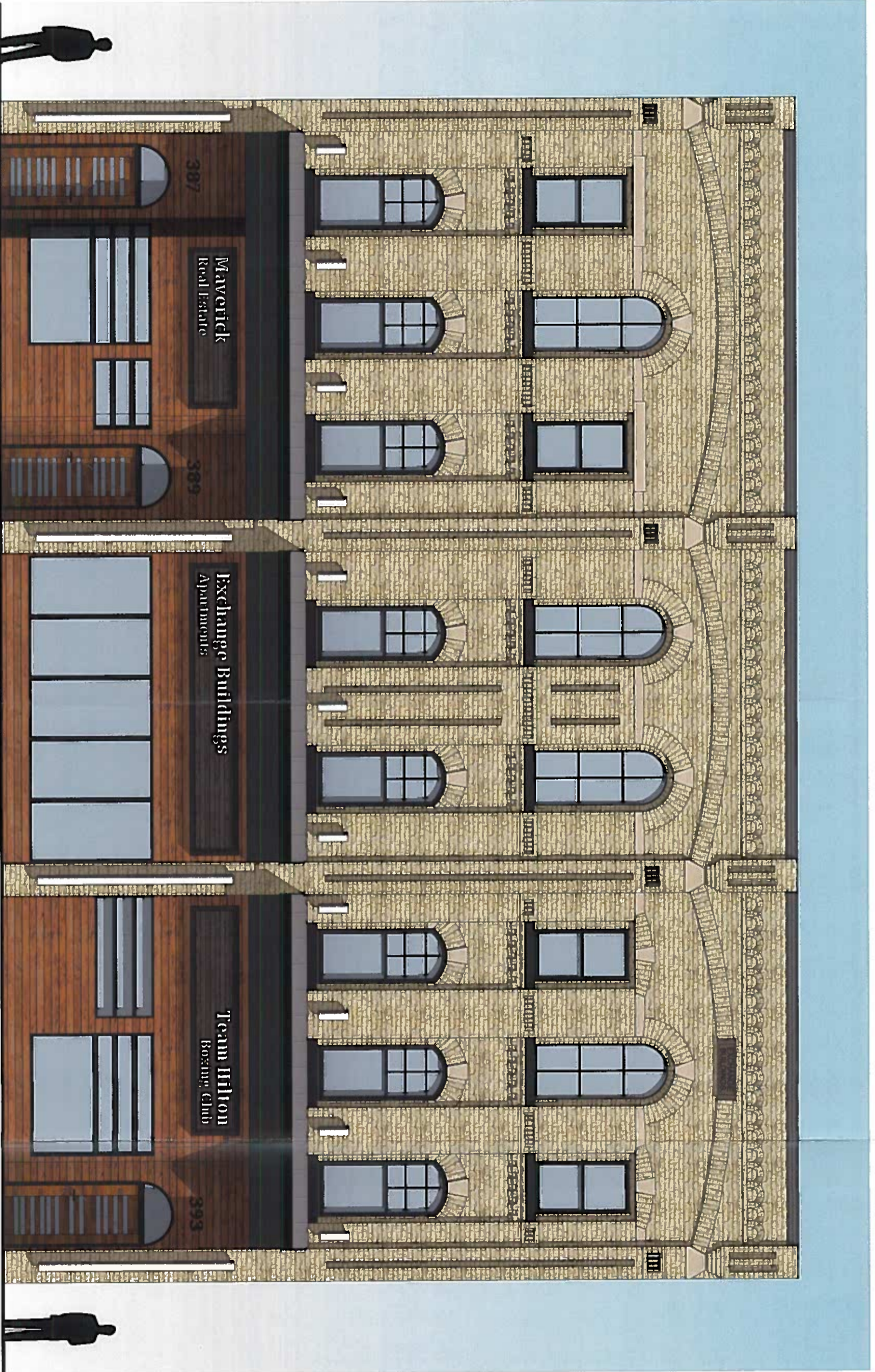
APPENDIX A – AUTHORIZATION OF OWNER

If the applicant is not the owner of the subject lands, please complete the owner authorization concerning personal information as set out below.

I, Craig Hansford, am the owner of the subject lands, and I authorize
Craig Hansford, to act on our behalf as the agent for the submissions required for all matters relating to the subject lands, and to provide any of my personal information that will be included in this application or collected during the planning process.

October 4th 2018
Date


Signature of Owner



Front Elevation (South)
3/16" = 1'-0"

231 Wharncliffe Rd S Suite 201
London, Ontario (N6J 2L3)
Phone: (519) 615-8508
dwayne@dcduckengineering.com

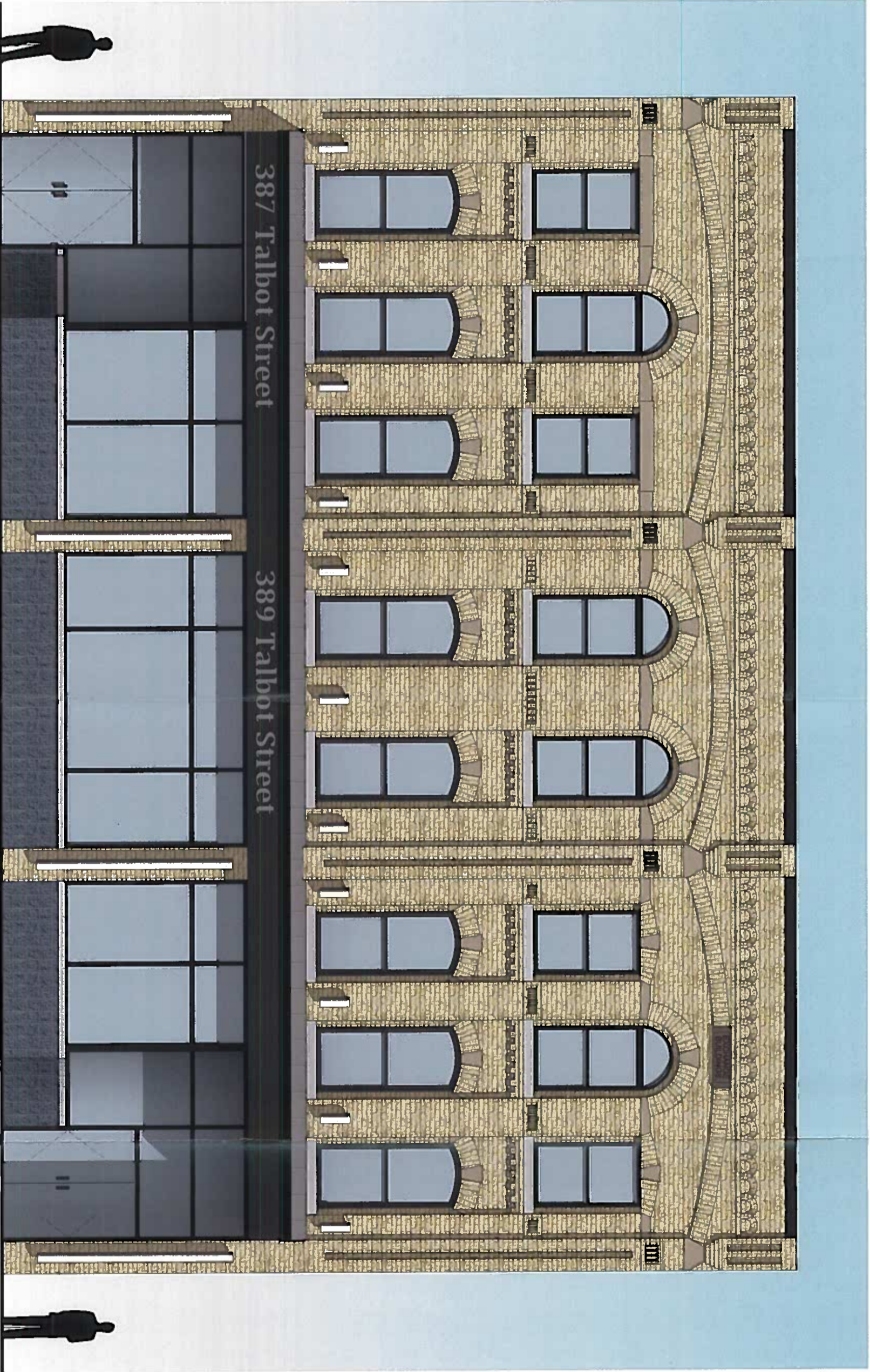


Renovation

387-393 Tablot St. - St. Thomas
Craig Hansford

Elevation

April, 23, 2018
101018



Front Elevation (South)

3/16" = 1'-0"

Renovation

393 Tablot St. - St. Thomas
Craig Hansford

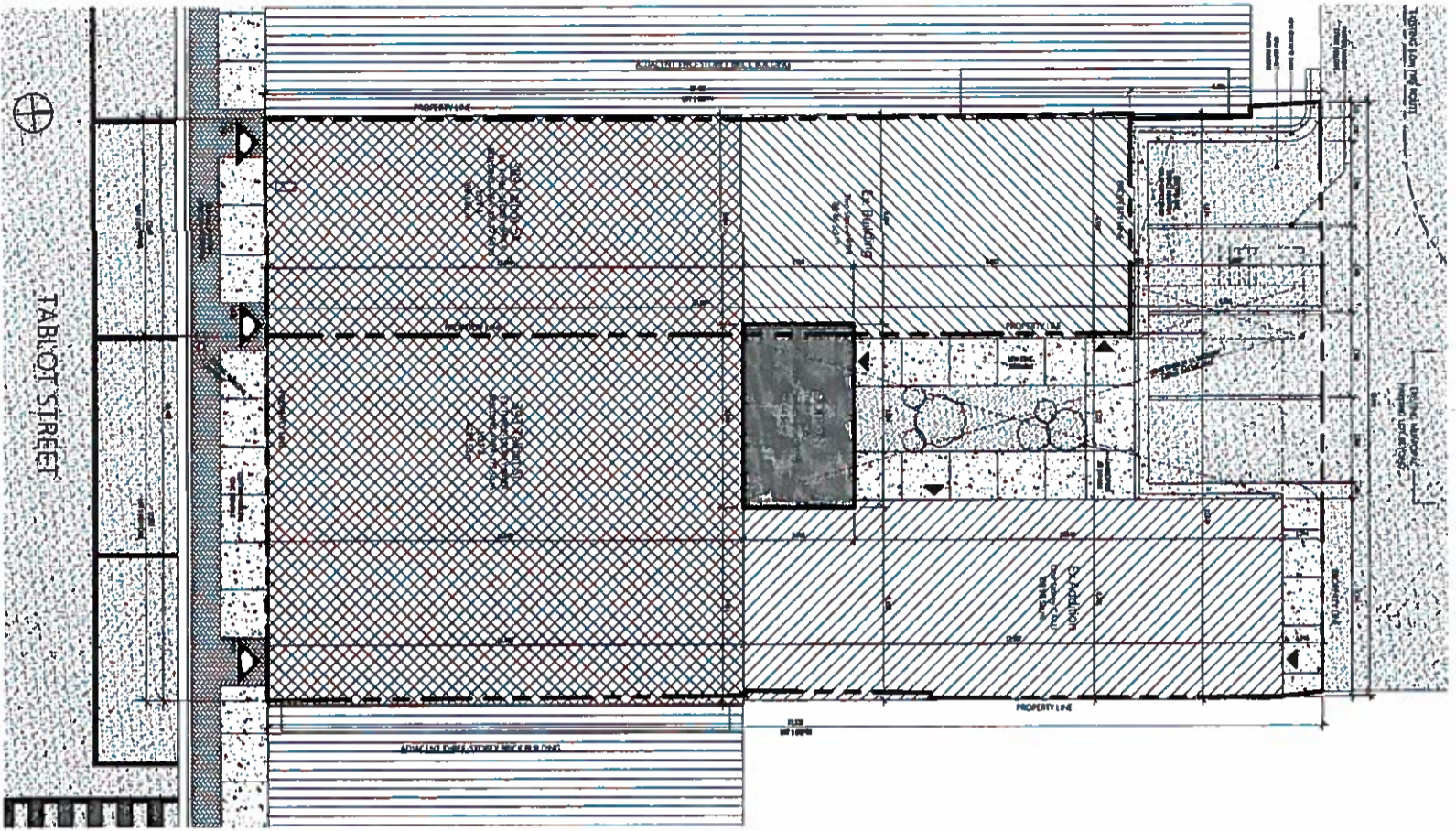
231 Wharncliffe Rd. S, Suite 201
London, Ontario (N6J 2L3)
Phone: (519) 615-8508
dwayne@dcduckengineering.com



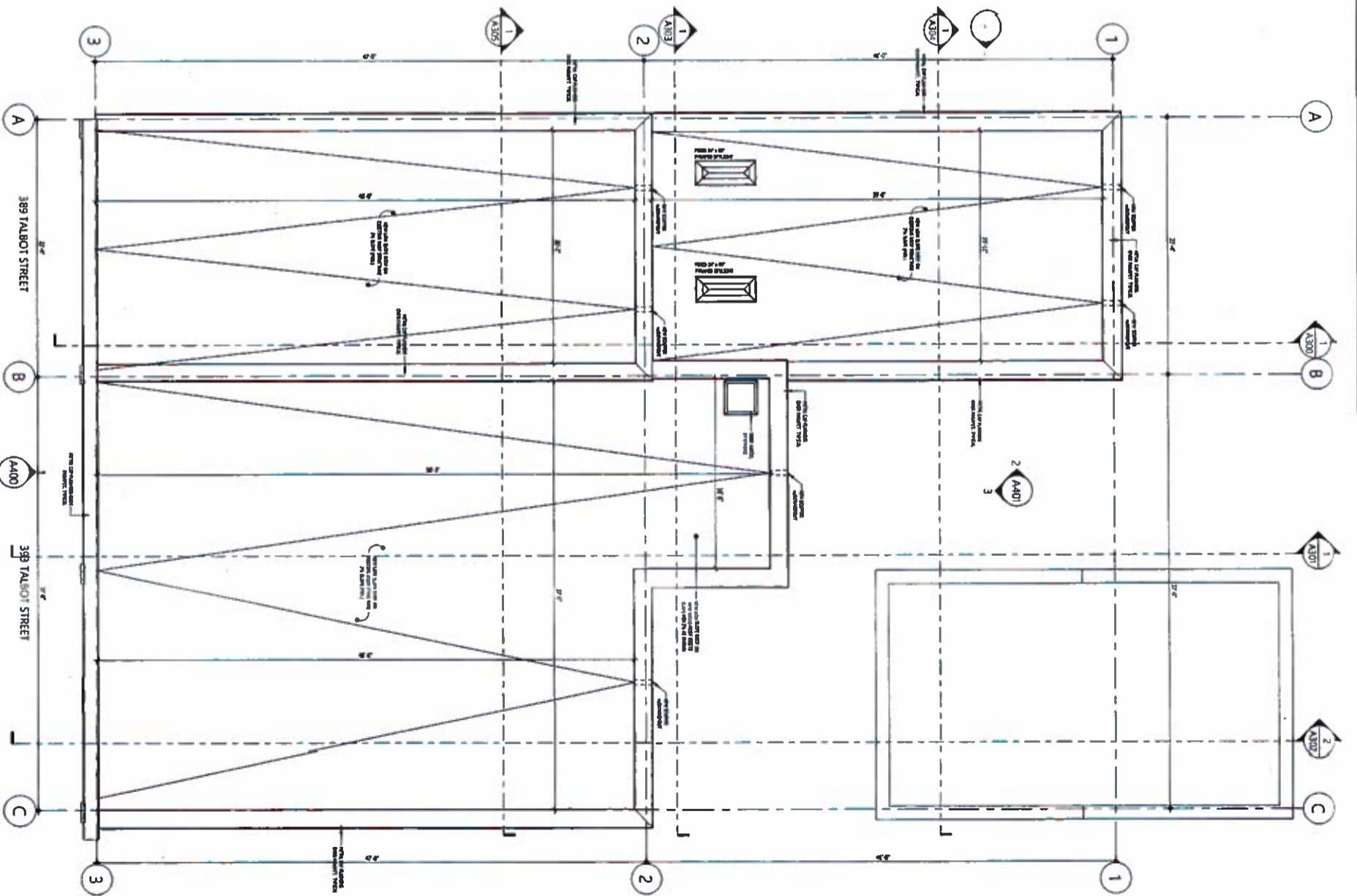
Elevation

Feb. 26, 2018
101018





Site Plan
3/8" = 1'-0"



Roof Plan
3/8" = 1'-0"

- GENERAL NOTES**
1. Contractor shall obtain all necessary permits and approvals from the appropriate authorities.
 2. All work shall be in accordance with the applicable building codes and standards.
 3. All materials, workmanship and construction shall be subject to inspection and approval by the appropriate authorities.
 4. The contractor shall be responsible for obtaining all necessary permits and approvals.
 5. The contractor shall be responsible for obtaining all necessary permits and approvals.
 6. The contractor shall be responsible for obtaining all necessary permits and approvals.
 7. The contractor shall be responsible for obtaining all necessary permits and approvals.
 8. The contractor shall be responsible for obtaining all necessary permits and approvals.
 9. The contractor shall be responsible for obtaining all necessary permits and approvals.
 10. The contractor shall be responsible for obtaining all necessary permits and approvals.

CLIENT
Craig Hinshford

PROJECT
Interior Renovation & Addition

PROJECT NO. 238018
SHEET NO. SPT1.1
DATE 07/11/2018

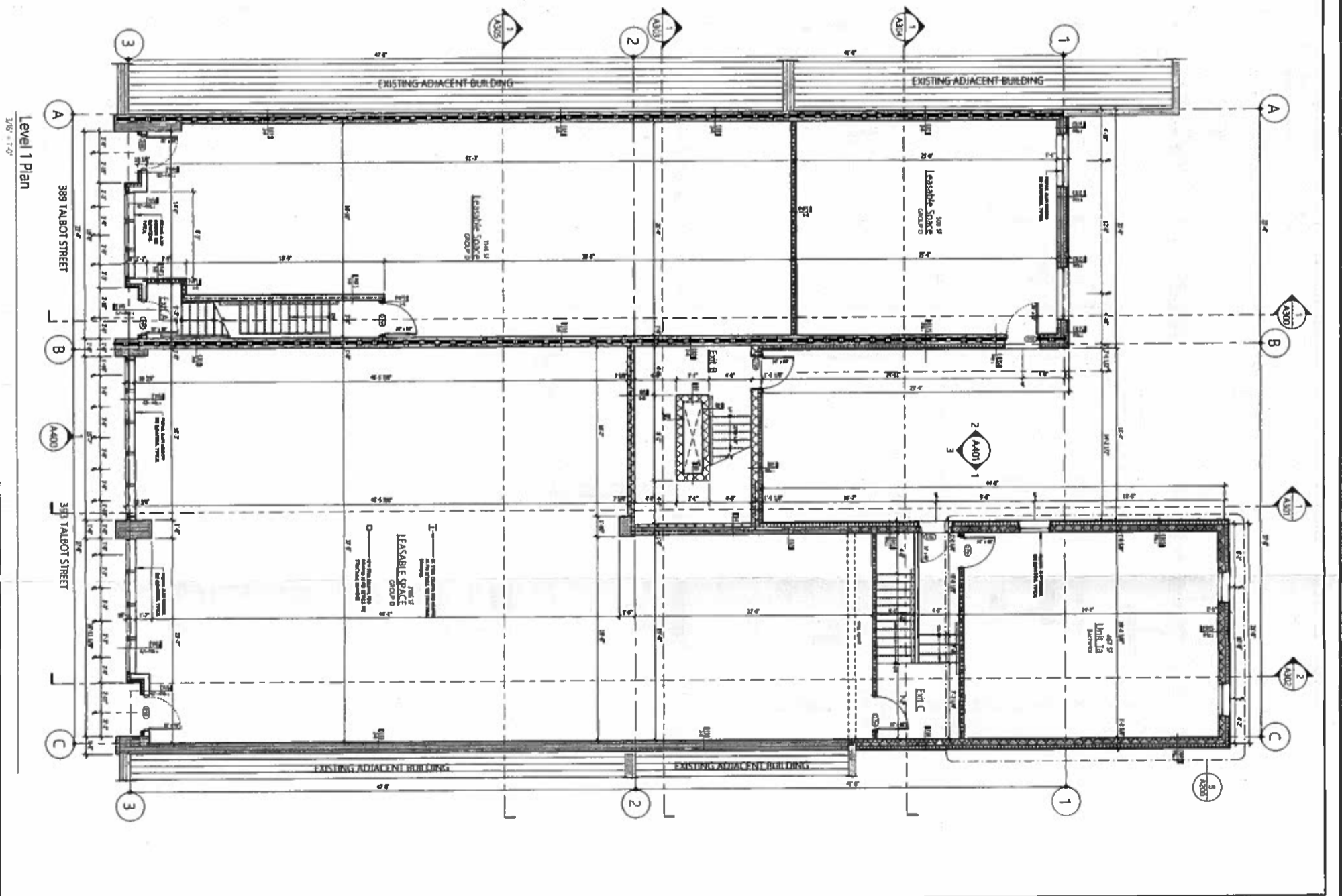
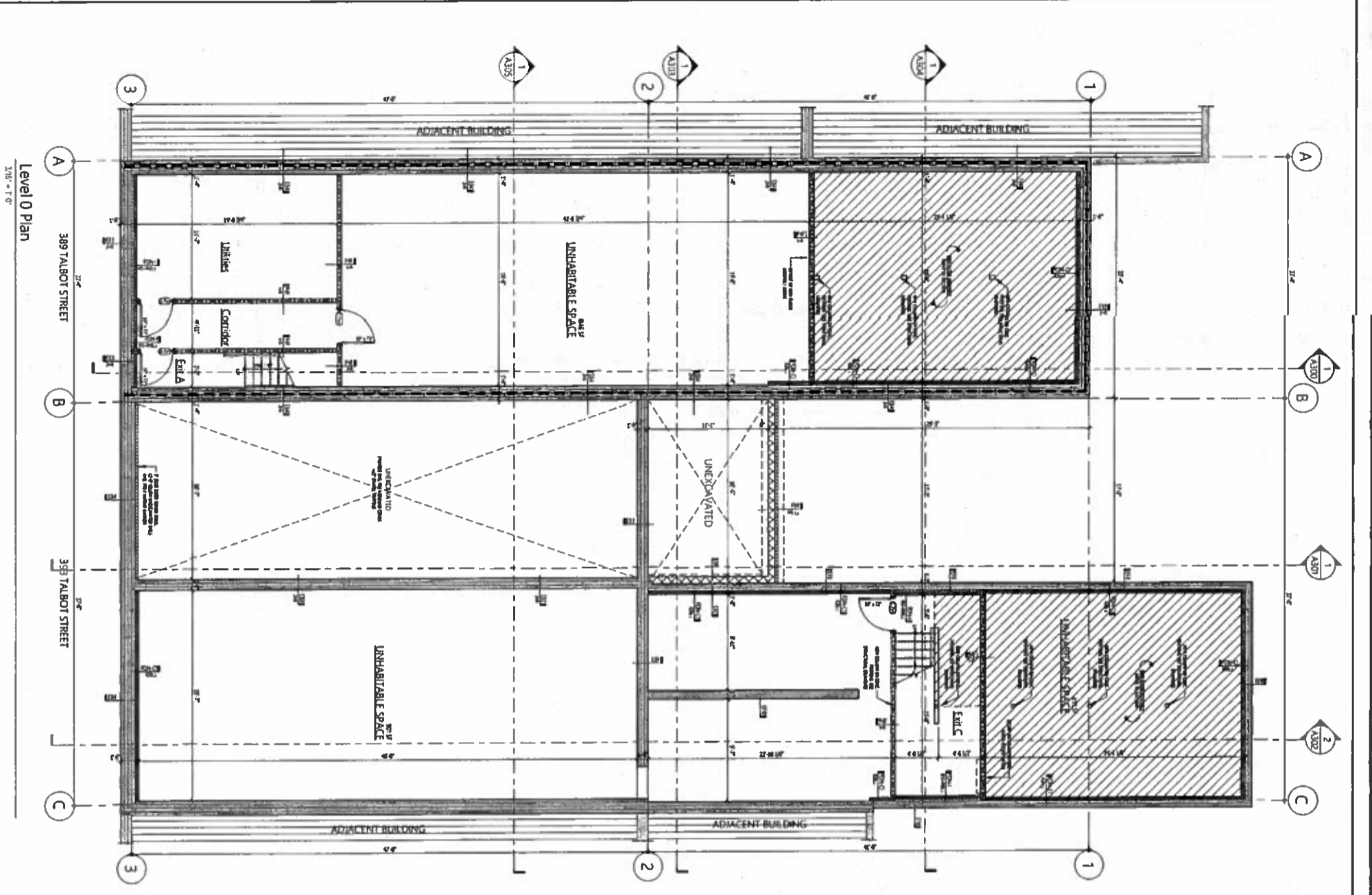
DESIGNER
DORRICK
2770 W. 10th Street, Suite 100
Vancouver, BC V6P 6K6
Tel: 604.275.1111
Fax: 604.275.1112
www.dorricks.com

ARCHITECT
DORRICK ARCHITECTURE
2770 W. 10th Street, Suite 100
Vancouver, BC V6P 6K6
Tel: 604.275.1111
Fax: 604.275.1112
www.dorricks.com

NO.	DESCRIPTION	DATE
1	PRELIMINARY	07/11/2018
2	REVISED	07/11/2018
3	REVISED	07/11/2018
4	REVISED	07/11/2018
5	REVISED	07/11/2018
6	REVISED	07/11/2018
7	REVISED	07/11/2018
8	REVISED	07/11/2018
9	REVISED	07/11/2018
10	REVISED	07/11/2018

PROJECT TITLE
Site Plan & Roof Plan

SCALE
Site Plan: 3/8" = 1'-0"
Roof Plan: 3/8" = 1'-0"



GENERAL NOTES

1. Contractor shall verify all dimensions and locations of existing conditions and shall be responsible for any discrepancies.
2. All work shall be in accordance with the approved plans and specifications.
3. All work shall be completed within the specified time frame.
4. All work shall be performed in accordance with the applicable building codes and regulations.
5. All work shall be subject to inspection and approval by the relevant authorities.

CLIENT
Craig Handford

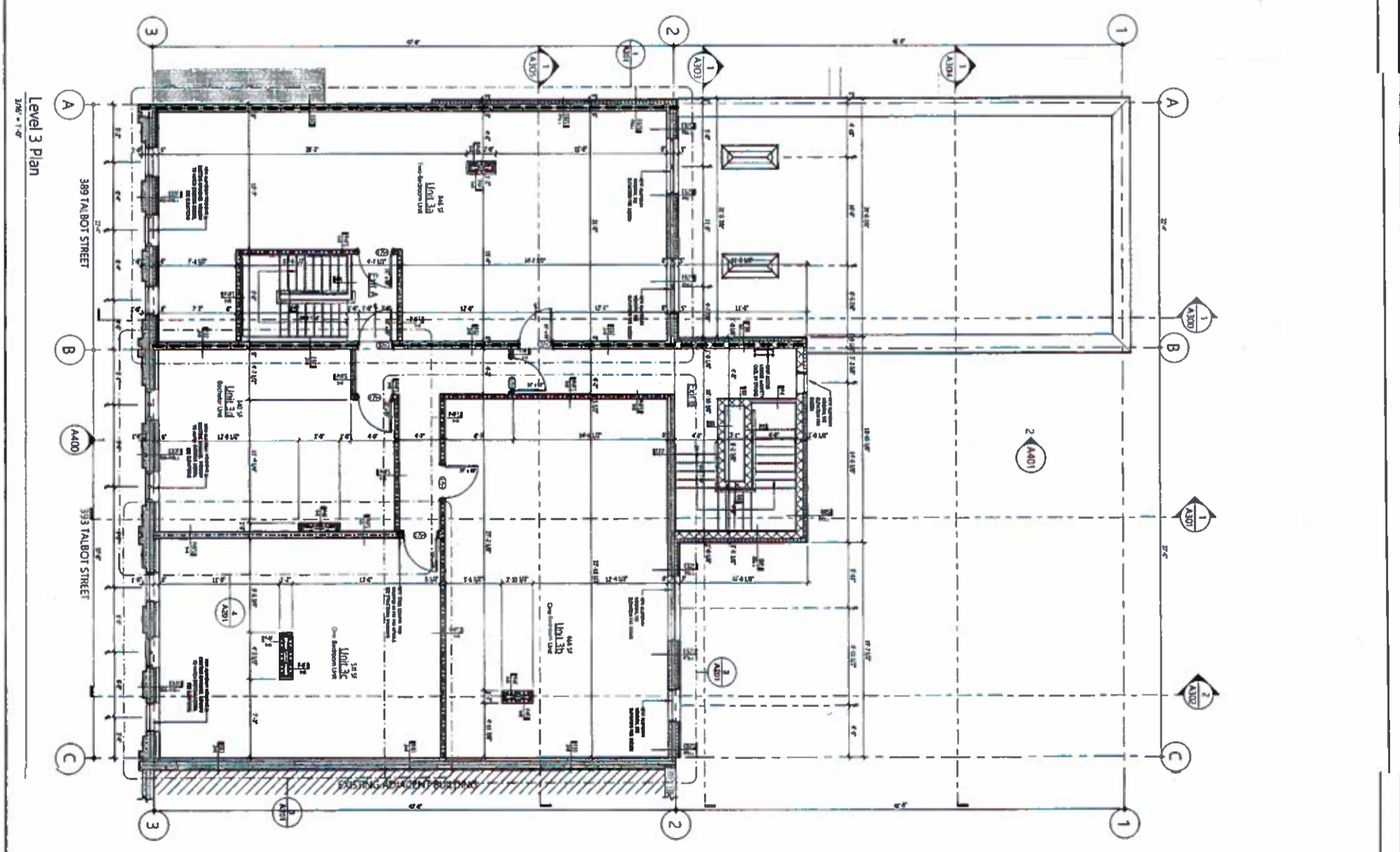
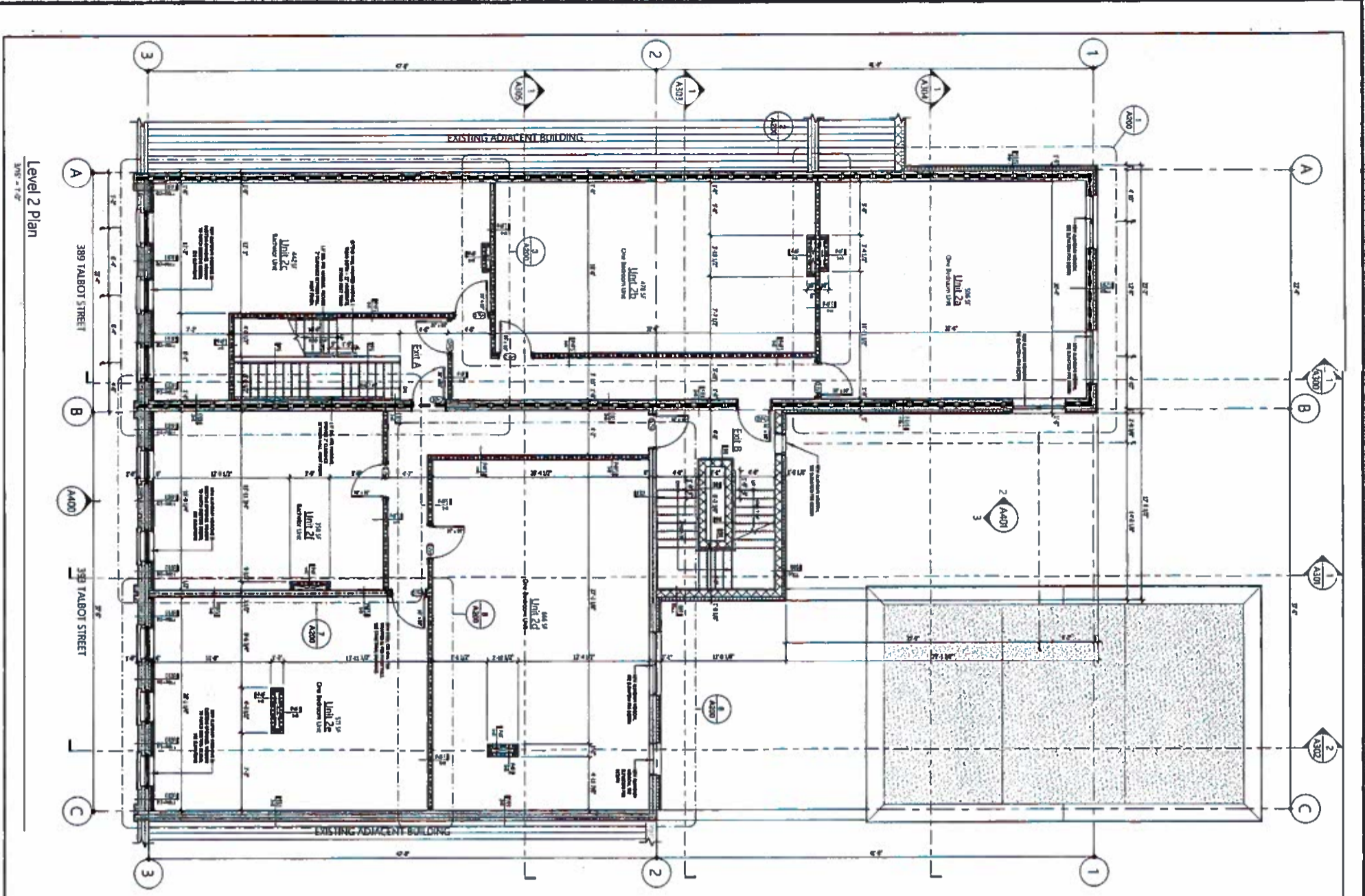
ARCHITECT
D. S. BUCK
2777
London, Ontario N6G 1A7
416-291-1111
www.ds-buck.com

PROJECT
Interior Renovation & Addition
389 Talbot Street
London, Ontario

Floor Plans

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2018-10-01	CONCEPT	AS	AS
2	2018-10-15	SCHEMATIC	AS	AS
3	2018-11-01	PRELIMINARY	AS	AS
4	2018-11-15	FINAL	AS	AS

PROJECT No. 238018 A100 01



CRITICAL NOTES

1. Contractor shall verify all dimensions and locations of existing conditions before beginning work.
2. All work shall be done in accordance with the approved plans and specifications.
3. All work shall be done in accordance with the approved plans and specifications.
4. All work shall be done in accordance with the approved plans and specifications.
5. All work shall be done in accordance with the approved plans and specifications.
6. All work shall be done in accordance with the approved plans and specifications.
7. All work shall be done in accordance with the approved plans and specifications.
8. All work shall be done in accordance with the approved plans and specifications.
9. All work shall be done in accordance with the approved plans and specifications.
10. All work shall be done in accordance with the approved plans and specifications.

PROJECT INFORMATION

Client: Craig Handford

Project: Interior Renovation & Addition

Address: 389 Talbot Street

City: Toronto, Ontario

Project No: 238018 A101 01

Scale: 3/8" = 1'-0"

Drawn: [Name]

Checked: [Name]

Approved: [Name]

Date: [Date]

Sheet No: 01

Project No: 238018 A101

Scale: 3/8" = 1'-0"

Drawn: [Name]

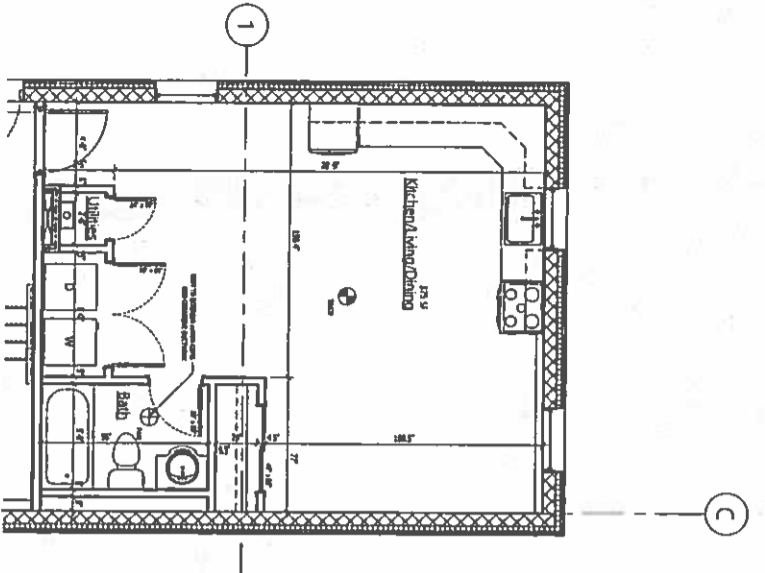
Checked: [Name]

Approved: [Name]

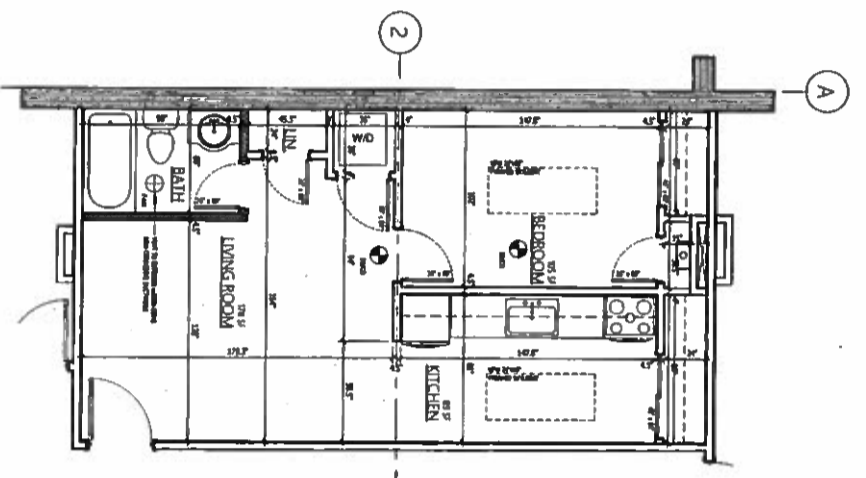
Date: [Date]

Sheet No: 01

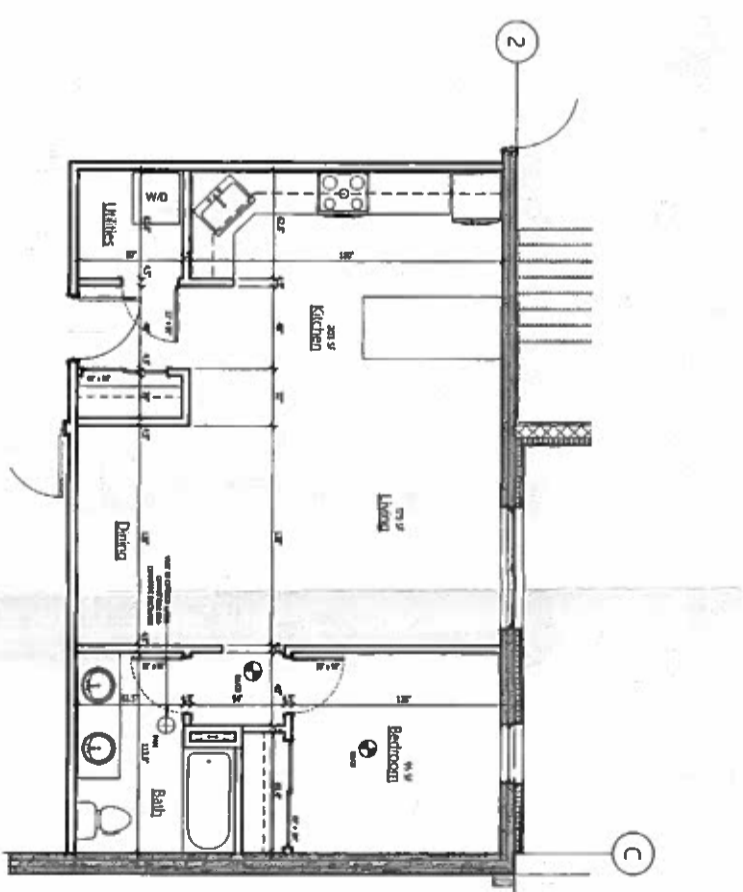
Project No: 238018 A101



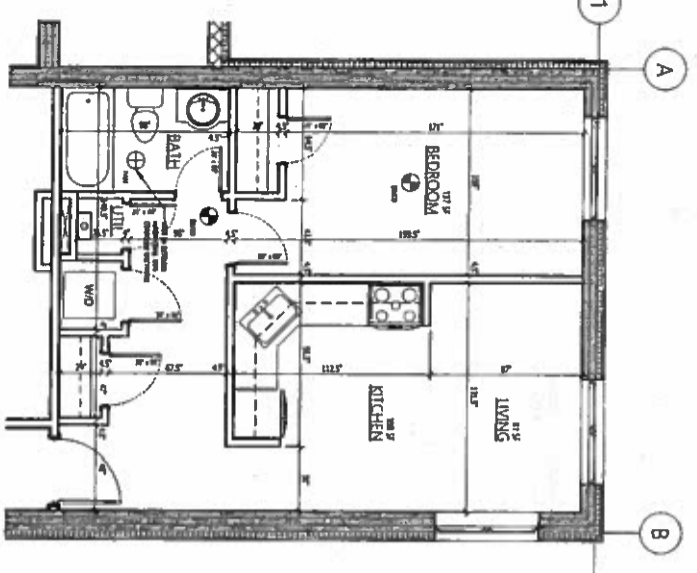
5 Unit 1a Plan
 A200 W-1'-0"



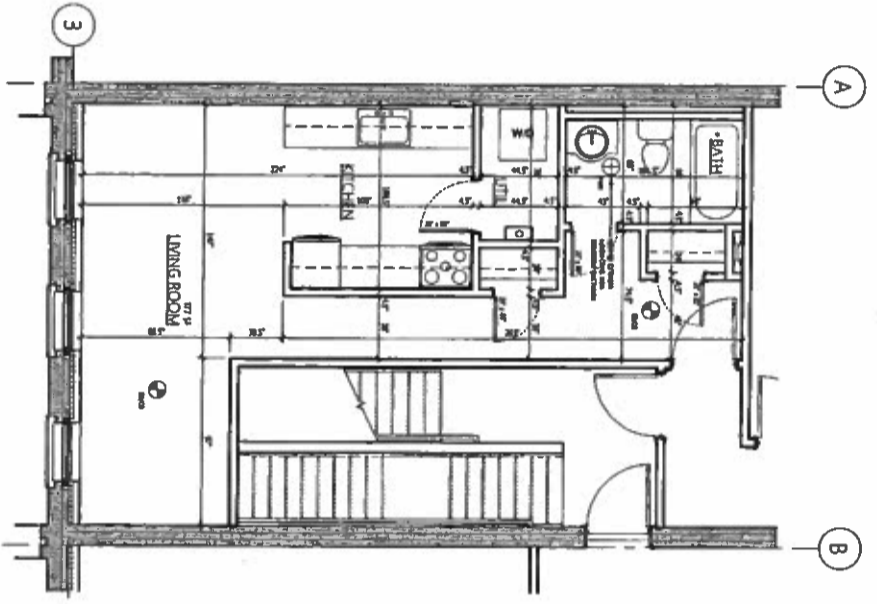
2 Unit 2b Plan
 A200 W-1'-0"



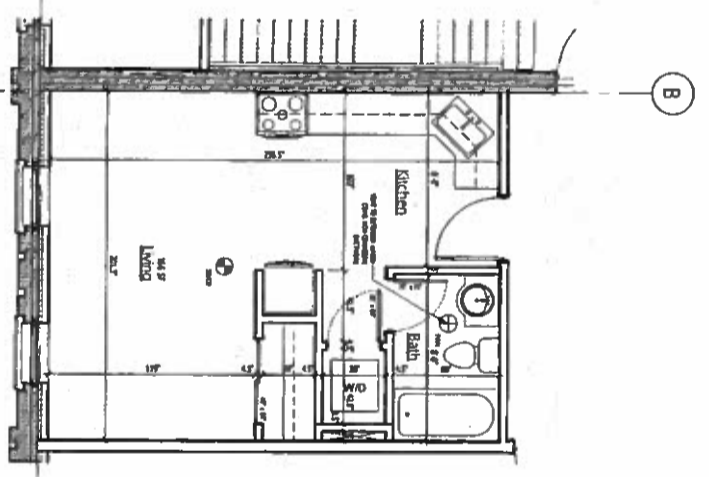
6 Unit 2d Plan
 A200 W-1'-0"



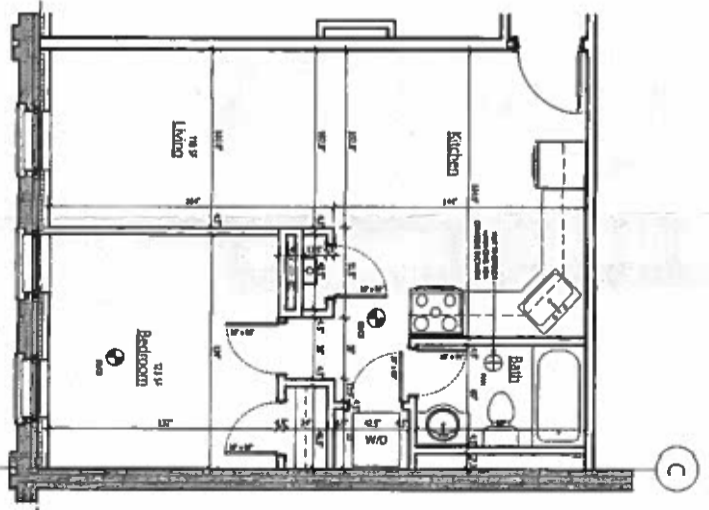
1 Unit 2a Plan
 A200 W-1'-0"



3 Unit 2c Plan
 A200 W-1'-0"



7 Unit 2f Plan
 A200 W-1'-0"



8 Unit 2e Plan
 A200 W-1'-0"

GENERAL NOTES

1. Contractor shall read and verify dimensions and quantities for work, quantity per professional seal and shall be held responsible for any errors and omissions.
2. All work shall be in accordance with the approved plans and specifications.
3. All work shall be done in accordance with the approved plans and specifications.
4. All work shall be done in accordance with the approved plans and specifications.
5. All work shall be done in accordance with the approved plans and specifications.
6. All work shall be done in accordance with the approved plans and specifications.

CLIENT
 Craig Handford

PROJECT
 Interior Renovation & Addition

DATE
 11/11/18

SCALE
 1/8" = 1'-0"

PROJECT NO.
 238018

DATE
 11/11/18

PROJECT NO.
 A200

DATE
 11/11/18

PROJECT NO.
 01

NO.	DESCRIPTION	DATE	BY
1	Issue for Review	11/11/18	AS
2	Issue for Construction	11/11/18	AS
3	Final	11/11/18	AS

PROJECT NO.
 238018

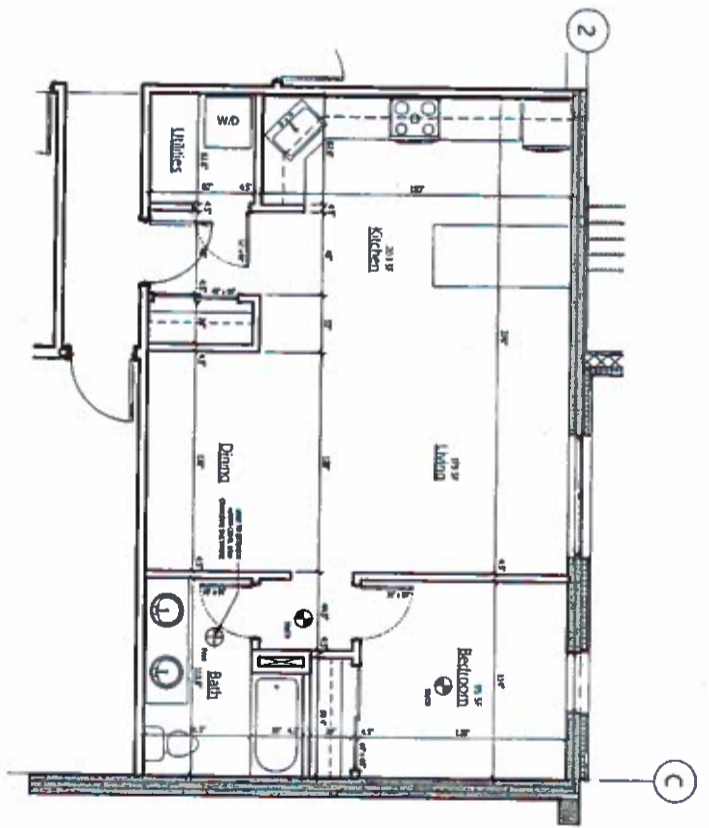
DATE
 11/11/18

PROJECT NO.
 A200

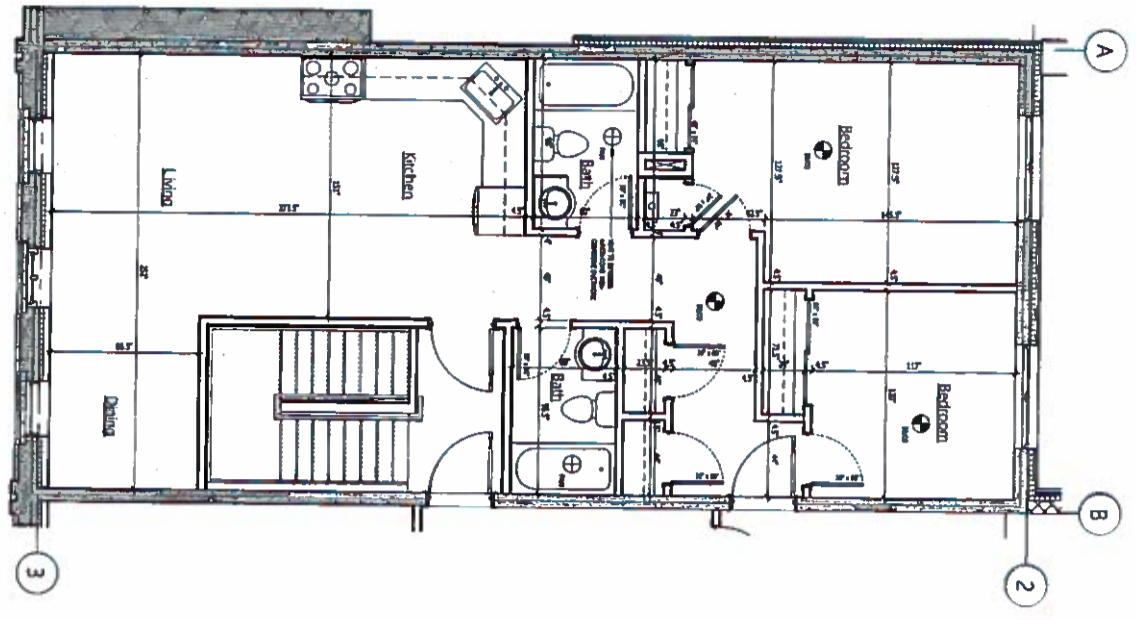
DATE
 11/11/18

PROJECT NO.
 01

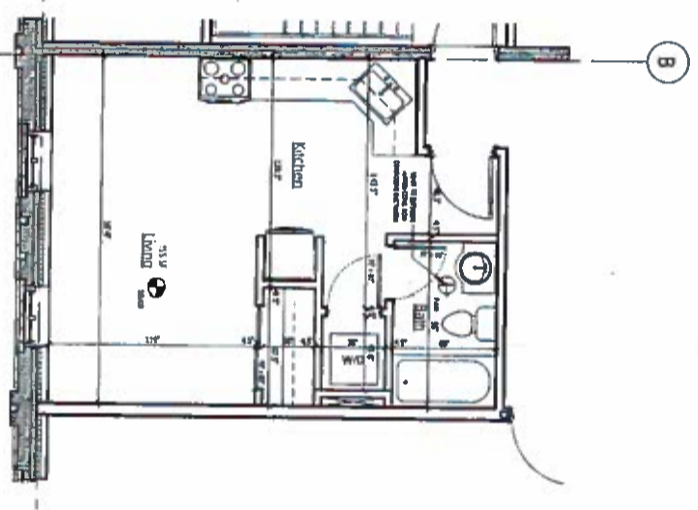
- GENERAL NOTES:**
1. Contractor shall verify all dimensions and locations of existing conditions and report to the architect prior to construction.
 2. All work shall be in accordance with the approved plans and specifications.
 3. All materials and products shall be approved by the architect prior to installation.
 4. All work shall be completed in accordance with the approved plans and specifications.
 5. All work shall be completed in accordance with the approved plans and specifications.



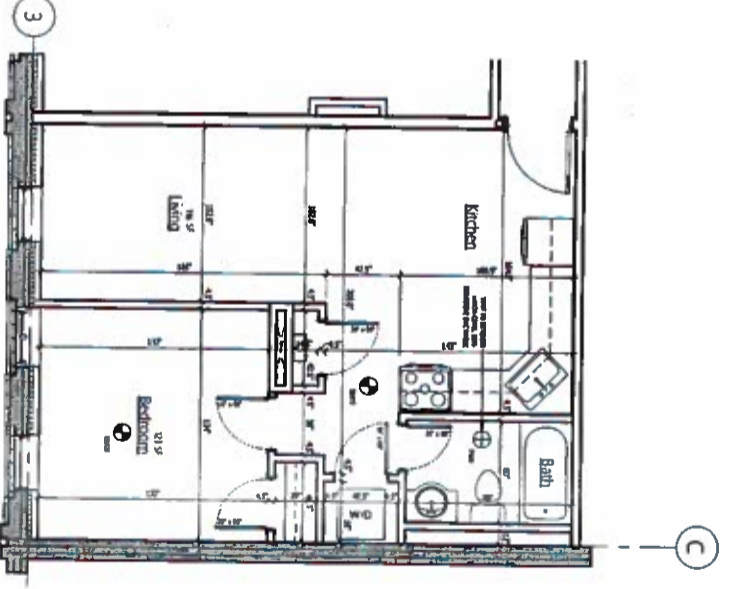
2 Unit 3b Plan
A201 W-1'-0"



1 Unit 3a Plan
A201 W-1'-0"



4 Unit 3d Plan
A201 W-1'-0"



3 Unit 3c Plan
A201 W-1'-0"

OWNER: Craig Harshford

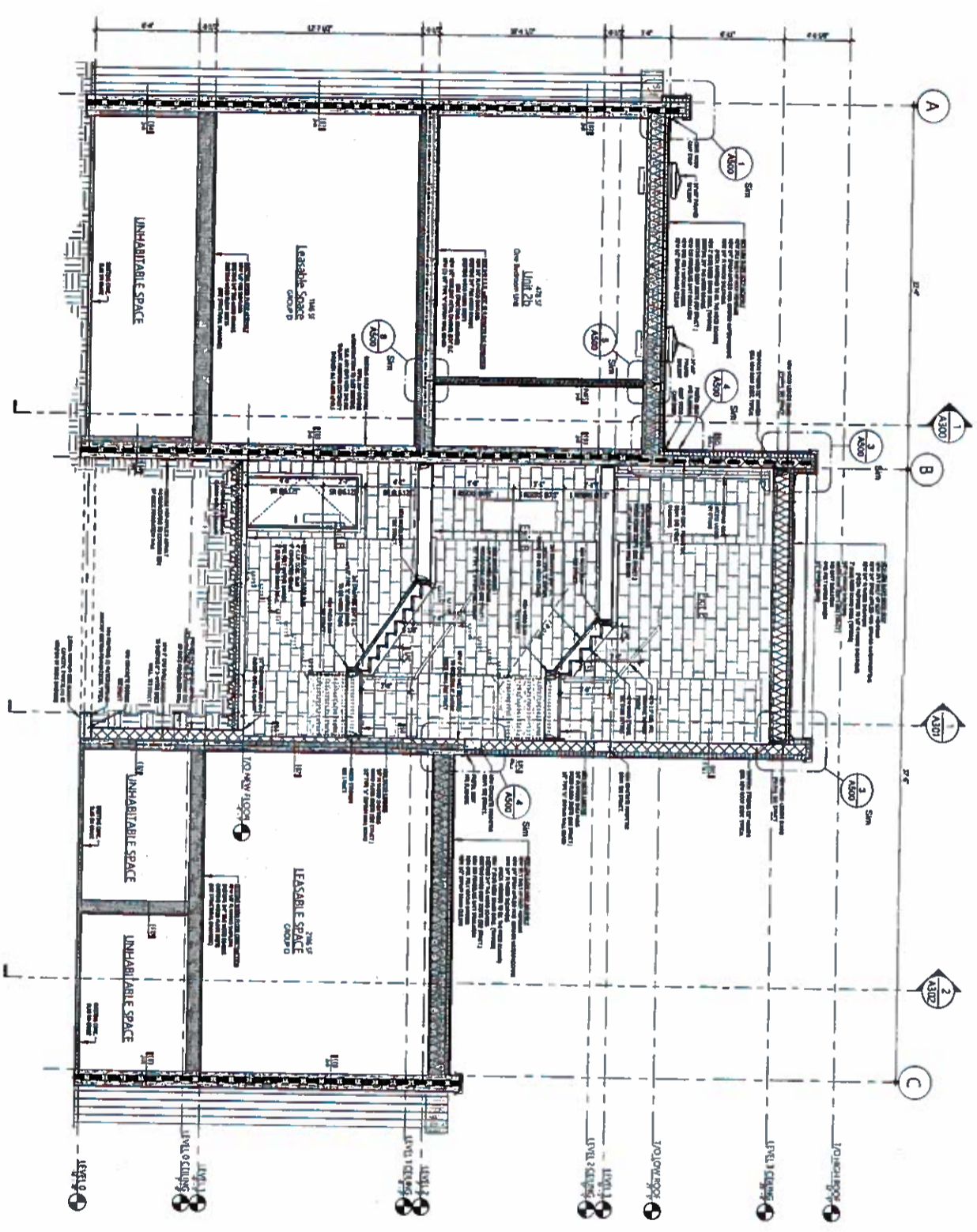
ARCHITECT: DCR/CK
2777 Westgate Blvd, Suite 100
Westgate, TX 75086
Phone: 972-440-1111
Fax: 972-440-1112

PROJECT: Interior Renovation & Addition
3 - Thomas, Chicago

DATE: 08/20/18

SCALE: 1/8" = 1'-0"

PROJECT NO.: 238018 A201 01



1 Building Section
A303 / 01

- GENERAL NOTES**
1. Contractor shall obtain and verify all dimensions and locations of existing conditions from the owner and/or existing drawings. The contractor shall be responsible for verifying any dimensions and locations not shown on the drawings.
 2. All work shall be in accordance with the current edition of the Ontario Building Code, unless otherwise specified.
 3. All work shall be in accordance with the current edition of the Ontario Building Code, unless otherwise specified.
 4. All work shall be in accordance with the current edition of the Ontario Building Code, unless otherwise specified.
 5. All work shall be in accordance with the current edition of the Ontario Building Code, unless otherwise specified.
 6. All work shall be in accordance with the current edition of the Ontario Building Code, unless otherwise specified.

CLIENT
Craig Handford

PROJECT
Interior Renovation & Addition
3, Thorne College

DATE
2018.08.01

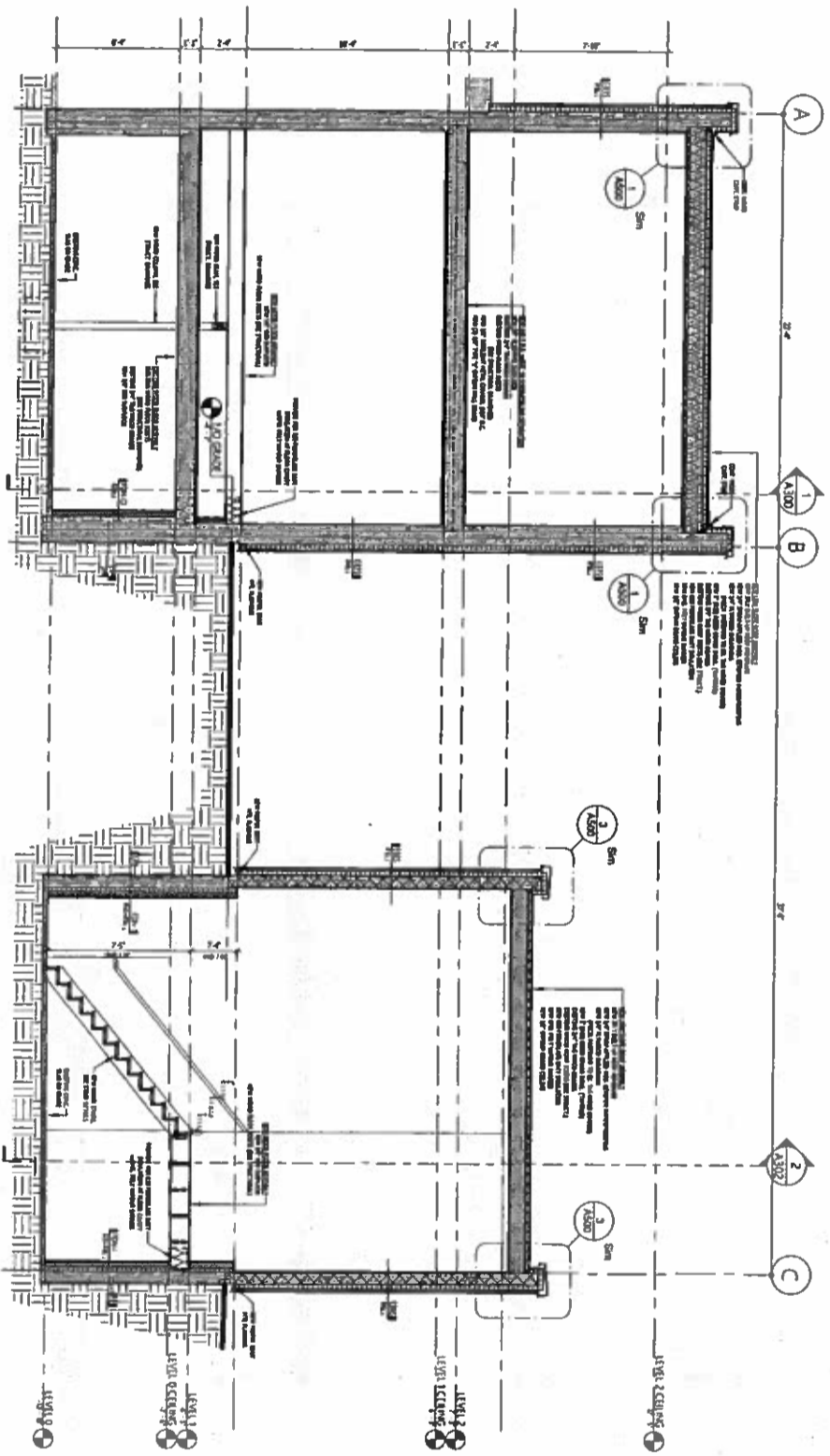
SCALE
1/8" = 1'-0"

PROJECT NO.
238018

DATE
2018.08.01

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2018.08.01	Issue for Construction	AS	AS
2	2018.08.01	Issue for Construction	AS	AS
3	2018.08.01	Issue for Construction	AS	AS
4	2018.08.01	Issue for Construction	AS	AS
5	2018.08.01	Issue for Construction	AS	AS
6	2018.08.01	Issue for Construction	AS	AS
7	2018.08.01	Issue for Construction	AS	AS
8	2018.08.01	Issue for Construction	AS	AS
9	2018.08.01	Issue for Construction	AS	AS
10	2018.08.01	Issue for Construction	AS	AS

238018 A303 01



1 Building Section
AS04 1/4" = 1'-0"

- GENERAL NOTES**
1. Contractor shall verify and certify all dimensions and quantities to be reported to the building department and to the building department.
 2. All work shall be in accordance with the approved plans and specifications.
 3. All work shall be completed within the specified time frame.
 4. All work shall be completed in accordance with the approved plans and specifications.
 5. All work shall be completed in accordance with the approved plans and specifications.
 6. All work shall be completed in accordance with the approved plans and specifications.

PROJECT
Crag Harford
Interior Renovation & Addition

ARCHITECT
PCB GROUP
2710 University Avenue, Suite 200
Cincinnati, Ohio 45221
Tel: 513.251.1234
www.pcbgroup.com

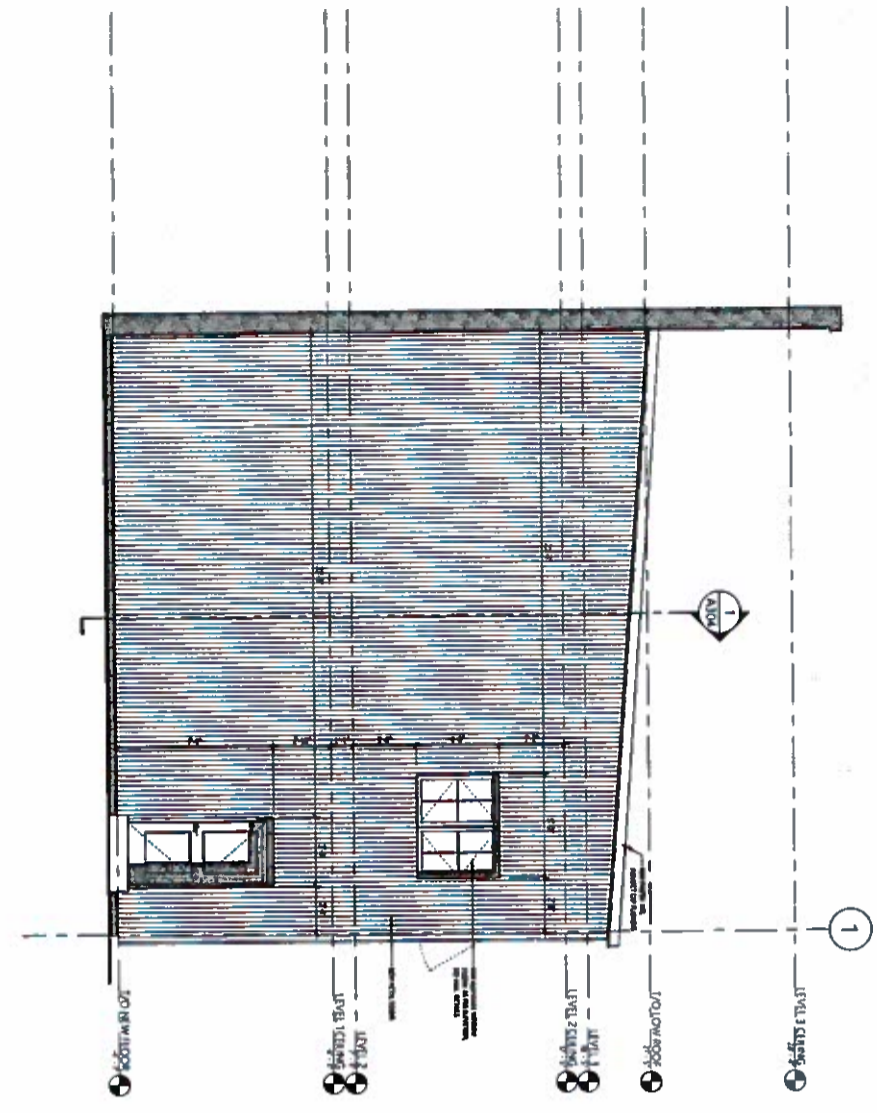
DATE
08/20/2018

SCALE
1/4" = 1'-0"

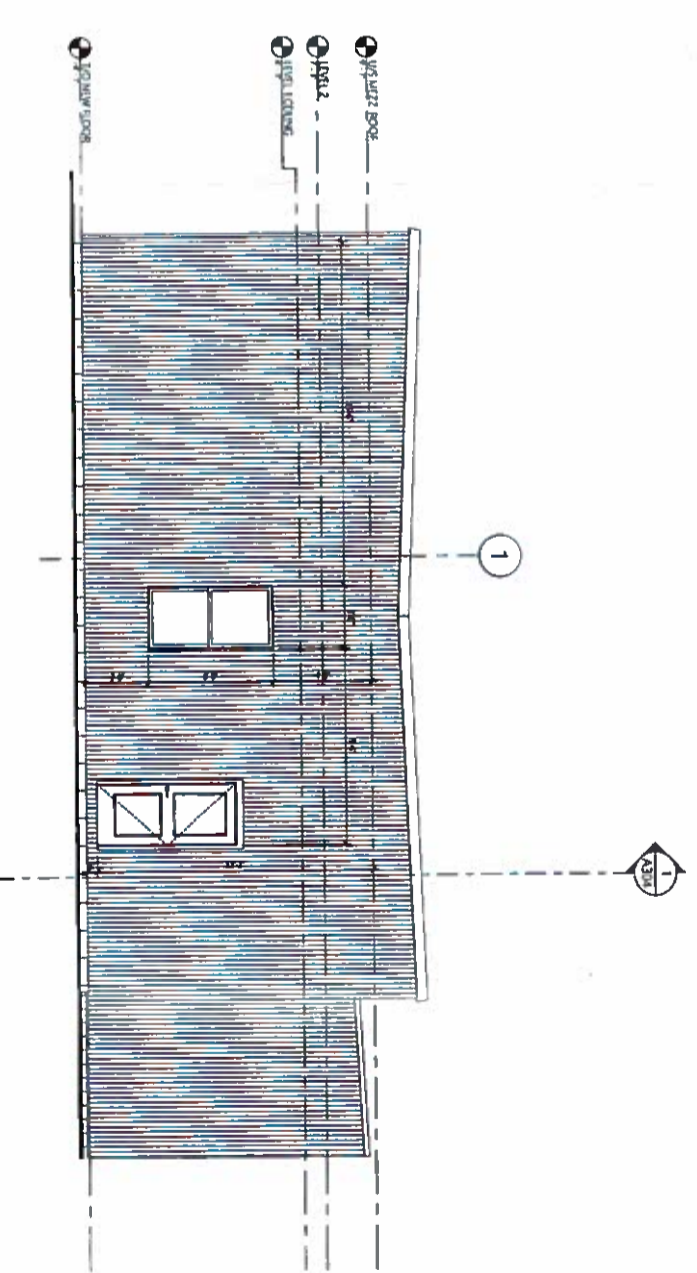
PROJECT No.
238018 AS04 01



1 North Elevation
A401 1/8" = 1'-0"



2 East Existing
A401 1/8" = 1'-0"



1 West Elevation (Block)
A401 1/8" = 1'-0"

GENERAL NOTES

- Contractor shall verify all dimensions and materials to be used, including but not limited to, window and door sizes, and shall provide a copy of the manufacturer's specifications to the architect.
- Architect shall be responsible for providing a copy of the manufacturer's specifications to the contractor.
- Contractor shall be responsible for providing a copy of the manufacturer's specifications to the architect.
- Contractor shall be responsible for providing a copy of the manufacturer's specifications to the architect.
- Contractor shall be responsible for providing a copy of the manufacturer's specifications to the architect.

CLIENT
Craig Harford

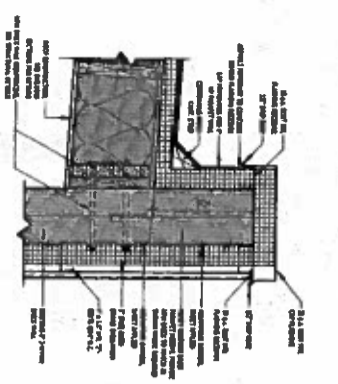
NO. OF SHEETS	10
SHEET NO.	01
DATE	08/20/2018
PROJECT NO.	238018
PROJECT NAME	A401 01

DCM
2777 Broadway Blvd, Suite 100
Denver, CO 80202
Tel: 303.733.1111
www.dcm.com

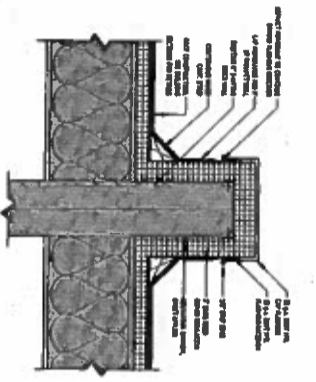
PROJECT
Interior Renovation & Addition
3 - Remond, Chicago

DATE: 08/20/2018
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

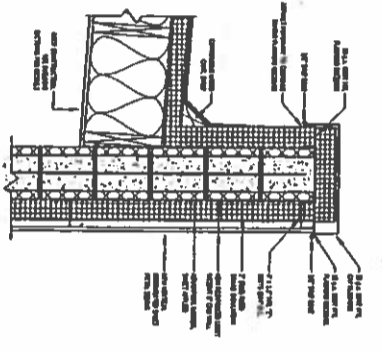
NO. OF SHEETS	10
SHEET NO.	01
DATE	08/20/2018
PROJECT NO.	238018
PROJECT NAME	A401 01



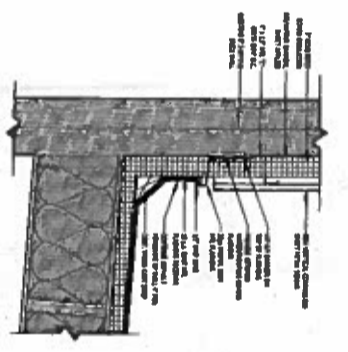
1 Brick Parapet Detail
AS00 T=1'-0"



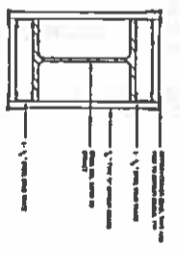
2 Firewall Parapet Detail
AS00 T=1'-0"



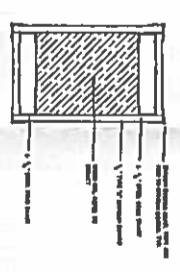
3 CMU Parapet Detail
AS00 T=1'-0"



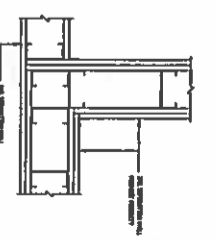
4 Wall Base at Roof Detail
AS00 T=1'-0"



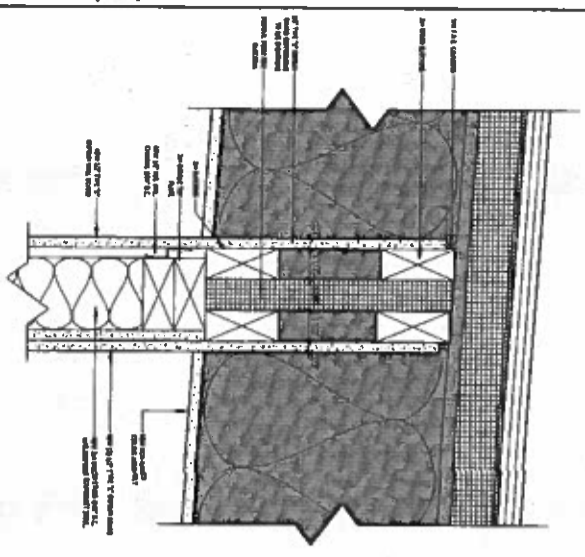
STEEL COLUMN DETAIL
1HR (X528 ULC)
1/2" = 1'-0"



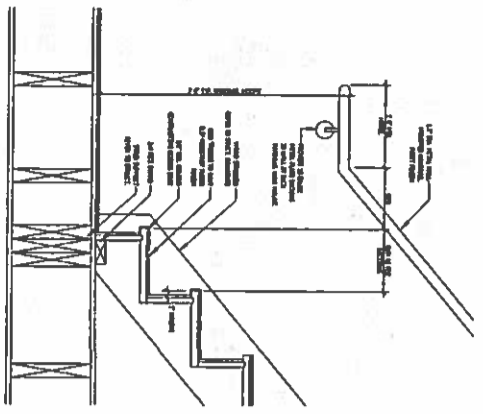
WOOD COLUMN DETAIL
1HR (X528 ULC)
1/2" = 1'-0"



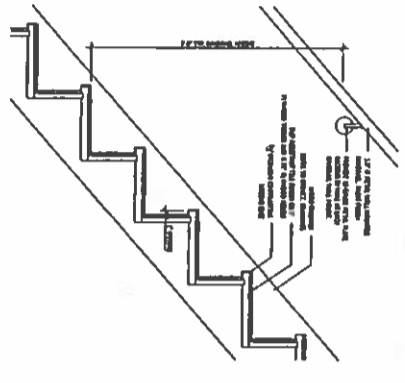
FRR PRIORITY LEGEND
1/2" = 1'-0"



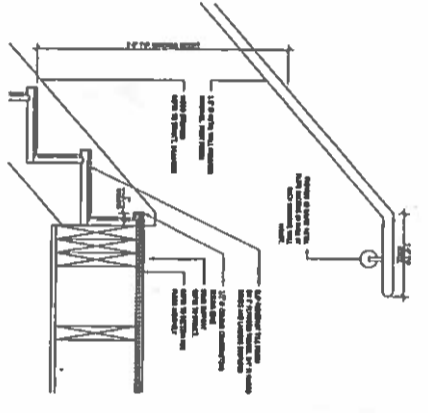
5 Ver. Fire Separation at Roof
AS00 T=1'-0"



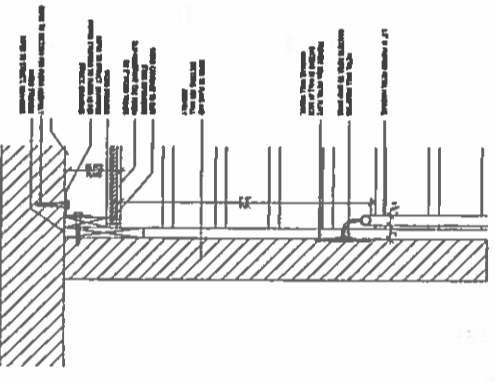
Stair Detail at Floor
T=1'-0"



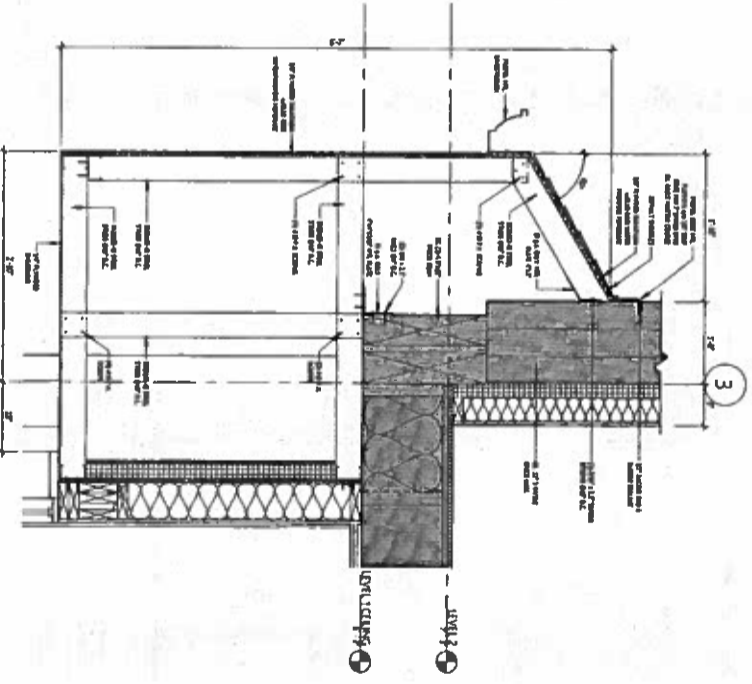
Stair Detail at Flight
T=1'-0"



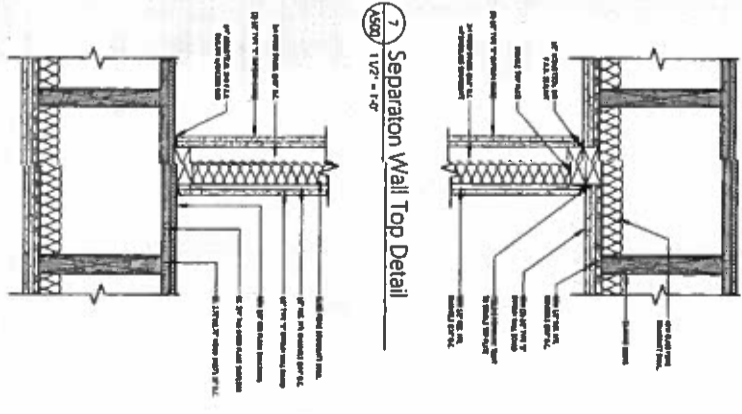
Stair Detail at Landing
T=1'-0"



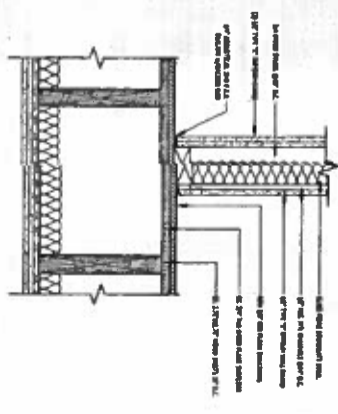
Stair Detail at Stringer
T=1'-0"



6 Canopy Detail
AS00 T=1'-0"



7 Separation Wall Top Detail
AS00 1/2" = 1'-0"



8 Separation Wall Base Detail
AS00 1/2" = 1'-0"

GENERAL NOTES

- Contractor shall verify all dimensions and materials before construction.
- Verify all materials and assemblies are approved for use.
- Verify all materials and assemblies are installed in accordance with the manufacturer's instructions.
- Verify all materials and assemblies are installed in accordance with the applicable building code.
- Verify all materials and assemblies are installed in accordance with the applicable fire code.
- Verify all materials and assemblies are installed in accordance with the applicable safety code.

DETAILS

238018 AS00 01

PROJECT: Interior Renovation B Addition

DATE: 11/20/2018

SCALE: 1/2" = 1'-0"

DESIGNED BY: [Name]

CHECKED BY: [Name]

DATE: 11/20/2018

PROJECT NO: 238018

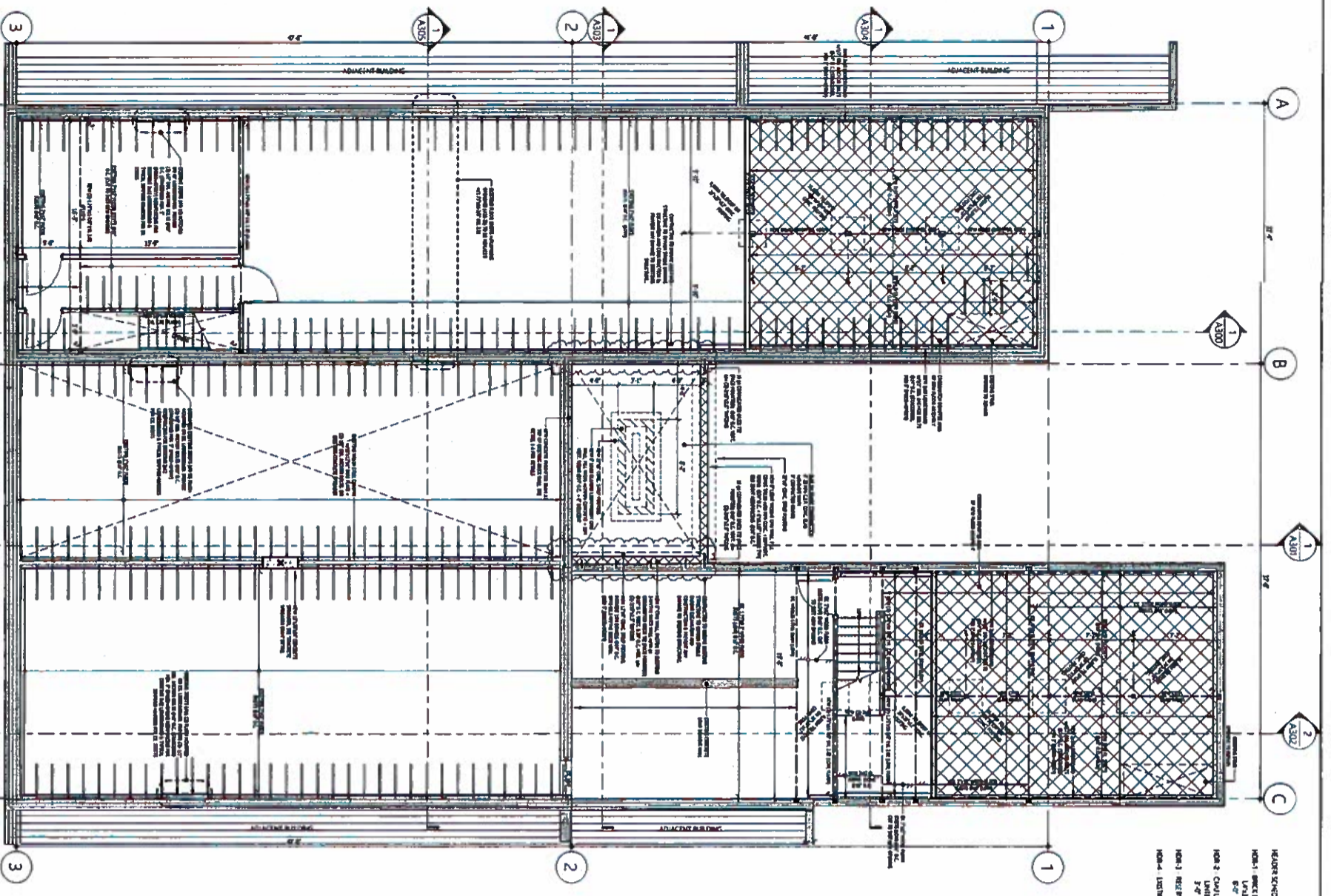
REV: 01

CONTRACTOR: [Name]

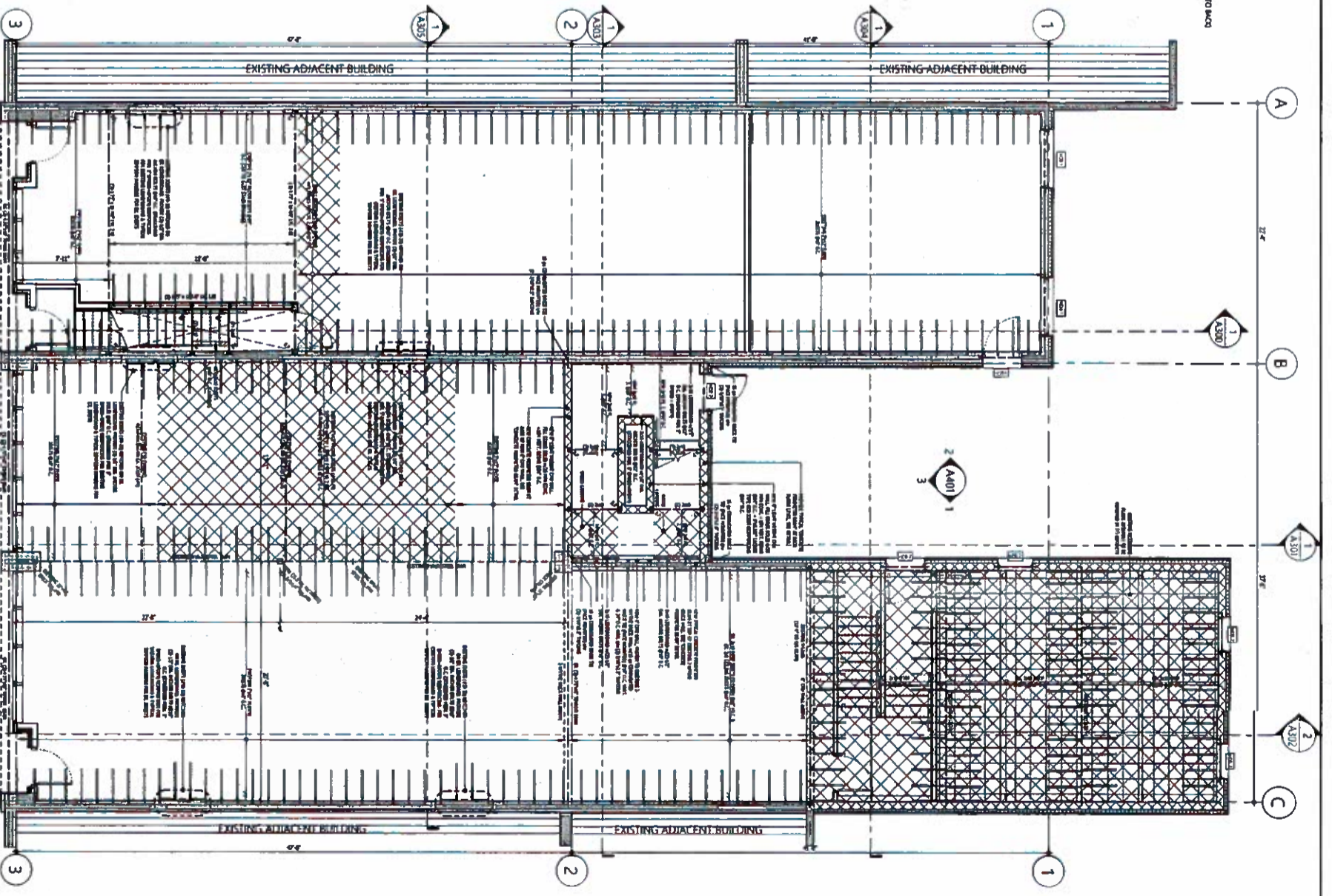
ARCHITECT: [Name]

DATE: 11/20/2018

- HEADERS/SCHEMATIC**
- HDR-1: BRICK UNIT
 - HDR-2: CONCRETE
 - HDR-3: REEF BRG
 - HDR-4: LIGHTING BRICK UNIT: TO MATCH EXISTING BRICKWORK
- NOTES:**
1. ALL EXISTING WALLS TO REMAIN UNLESS NOTED OTHERWISE.
 2. ALL EXISTING WALLS TO BE REFINISHED TO MATCH EXISTING FINISH.
 3. ALL EXISTING WALLS TO BE REFINISHED TO MATCH EXISTING FINISH.
 4. ALL EXISTING WALLS TO BE REFINISHED TO MATCH EXISTING FINISH.



LEVEL 0 (Level 1 Framing)
1/8" = 1'-0"



LEVEL 1 (Level 2 Framing)
1/8" = 1'-0"

- GENERAL NOTES:**
1. Contractor shall verify all dimensions and locations of existing conditions and be responsible for any discrepancies in the field before commencing work.
 2. All work shall be done in accordance with the approved plans and specifications.
 3. All work shall be done in accordance with the approved plans and specifications.
 4. All work shall be done in accordance with the approved plans and specifications.
 5. All work shall be done in accordance with the approved plans and specifications.
 6. All work shall be done in accordance with the approved plans and specifications.

CLIENT: Craig Handford

PROJECT: Interior Renovation & Addition

DATE: 08/20/2018

SCALE: 1/8" = 1'-0"

PROJECT NO.: 238018

SHEET NO.: S100

REV. NO.: 01

DESIGNER: [Signature]

CHECKED: [Signature]

DATE: 08/20/2018

PROJECT: Interior Renovation & Addition

DATE: 08/20/2018

SCALE: 1/8" = 1'-0"

PROJECT NO.: 238018

SHEET NO.: S100

REV. NO.: 01

